

BUILDING PERMIT

Lake County Building Department

105 MAIN ST, SECOND FLOOR, PAINESVILLE, OHIO 44077

TEL: 440-350-2636 - 440-918-2636 - 800-899-LAKE Ext. 2636

Permit Number: 2025001617



Job Location: 30601 RIDGE RD
WICKLIFFE, OH 44092

Parcel: 29-B-005-A-00-001-0

Job Description: 098-25 INTERIOR ALTERATIONS -
RESTROOMS

Applicant:

LAKE METROPARKS
1121 SPEER RD
CONCORD TWP, OH 44077
440-639-7275 X 1608
TLANE@METROPARKS.COM

Owner:

LAKE METROPARKS BOARD OF PARK
COMMISSIONERS
11211 SPEAR RD
PAINESVILLE, OH 44077

Contractors:

Name	Address	Phone	Email
LAKE METROPARKS	11211 SPEAR RD	440-639-7275	PPALAGYI@LAKEMETROPARKS.COM

INSPECTIONS ARE MANDATORY

Our cut off time for inspections is 3:00 pm the day before the inspection is needed; however, there may be times when our schedule fills up quickly and more notice may be needed. We do not conduct same day inspections. We cannot take inspection requests via voicemail or e-mail.

A list of these inspections can be obtained from the Lake County Building Department Office or at the following website <http://www.lakecountyohio.gov>

Go to the Lake County Ohio Building Dept website at www.lakecountyohio.gov/buildinginspection and select the link to view the information in your permit file. You can view information such as inspection times and inspection results. Simply click on the SEARCH BY dropdown, make your selection, enter the information and click on search.

FINAL INSPECTION MUST BE MADE BEFORE BUILDING CAN BE OCCUPIED

440-350-2636

440-918-2636

PLEASE POST IMMEDIATELY

7 DAVE STRICHKO

05/09/2025

Date



COUNTY OF LAKE

PAINESVILLE
440-350-2636

CLEVELAND
440-918-2636

TOLL FREE
800-899-5253

FAX
440-350-2660

DEPARTMENT OF LAKE COUNTY BUILDING INSPECTION

CONDITIONAL APPROVAL
Date: <u>4/30/2025</u>

LAKE COUNTY BUILDING OFFICIAL

Certificate of Plan Approval

April 30, 2025

Plan Approval: #098-25
Pine Ridge Country Club
30601 Ridge Road
Wickliffe, Ohio

Approved Construction Documents

Lake County Building Department

This review does not include
Plumbing
(if applicable).
Plumbing approval will be done
separately.

Approved plans are not
valid if not accompanied
by Certificate of
Plan Approval

Construction documents submitted April 1, 2025, were reviewed for compliance with the applicable provisions of the 2024 Ohio Existing Building Code, 2024 Ohio Building Code and referenced standards.

The proposed project is alterations of public restrooms on ground, first floor and second floor locations.

The scope of work includes demolition of existing restrooms plumbing fixtures, cabinets, interior wall and floor finishes, ceilings, electrical equipment, ceiling grills and diffusers, replacement of restroom sprinkler heads and fire alarm devices, and reconfiguration/reinstallation of those items.

The existing building:

- Construction classification is Type III-B
- The building area has not changed
- Occupancy is food and beverage service Use Group A-2.
- The design occupant load exists.

Plans have been determined to comply with the applicable code regulations and are **conditionally approved** to as submitted.

The following data is intended to provide the applicant with useful information that is associated with the project

Note: **This review does not include Plumbing (if applicable), Plumbing approval will be done separately.**

EXISTING BUILDING CODE

- 1 **OEBC 602** The proposed project is a Level 1 alteration. Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment or fixtures using new materials, elements, equipment or fixtures that serve the same purpose. Level 1 alterations shall comply with the provisions of Chapter 7.
- 2 **OEBC 702.7** New work shall comply with the materials and methods requirements in the building code.

3. **OEBC 1501.5** Fire safety during construction shall comply with the applicable requirements of the building code and the applicable provisions of the Ohio Fire Code.

BUILDING CODE

1. **OBC 106.1** Note: if fire alarm system and or fire sprinkler system are being modified beyond replacing like for like components a separate submittal and review is required for each
2. **OBC 106.3** If substantive changes to the building and/or systems are contemplated after first document submission, or during construction, those changes must be submitted to the building official for review and approval prior to those changes being executed. The building official may waive this requirement in the instance of an emergency repair, or similar instance.
3. **OBC 107.7** One set of approved construction documents are to be kept by the building official. The other set(s) is to be returned to the applicant to be kept at the work site, along with manufacturers' installation instructions and product information, and be made available for use by the inspector.

ELECTRICAL

Documents indicate compliance with applicable requirements of the 2023 NFPA National Electrical Code.

FIRE SUPPRESSION

NFPA 13 30.3 Reconditioned sprinklers shall not be permitted on any existing system. When a threaded sprinkler is removed from a fitting or welded outlet, it shall not be reinstalled except as permitted by 30.3.2.1.

FIRE ALARM

NFPA 72 14.2.3.1 The property or building or system owner or the owner's designated representative shall be responsible for inspection, testing, and maintenance of the system and for alterations or additions to this system.

PLUMBING

Review by others.

Pursuant to Ohio Revised Code Chapter 3781 and 3791 owner and owner agents are responsible for compliance with the rules of the Ohio Board of Building Standards.

Sincerely,



David V. Strichko, CBO
Lake County Building Official

Acknowledgement of receipt of
Certificate of Plan Approval.

OWNER'S REPRESENTATIVE:

Signature: [Signature]

Printed Name: Timberline

Date: May 8th 2025



Job Address: _____

INSPECTION REQUIREMENTS

- JOB SITE ADDRESS** that is visible from the street and posted during entire construction project.
- JOB PLACARD POSTED IN PLAIN SIGHT**
- APPROVED JOB COPY. CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON ALL JOBS FOR ALL INSPECTIONS.** If approved construction documents are not on the job site, a re-inspection must be scheduled – **PLEASE NOTE A RE-INSPECTION FEE WILL BE ASSESSED.**
- RE-INSPECTION FEES** – A re-inspection fee will be charged when the inspector must return to the job site that was not ready, building was locked and inspector could not gain access, approved construction documents not on site, and / or had failed a previous inspection. Fee must be paid prior to scheduling final inspection, or if two (2) fees are assessed on a project, fees are due before the next inspection is scheduled.
- SCHEDULING INSPECTIONS** – Minimum of Twenty-four (24) hour notice is required for **all inspections**. Inspection requests must be received by 3:00 p.m. for inspection the next day. You can call the day of your inspection, between 8:15 a.m. – 9:00 a.m. for an approximate inspection time.
NOTE: Fire Department inspections do not supersede or negate the need for Building Department inspections. The contractor / owner must coordinate with the Building Department and the Fire Department to ensure both entities have completed their respective / required inspections.
- FOOTING / PADS / PILING / POST HOLE INSPECTIONS:**
 - * Upon completion of footing forms, reinforcement, etc. and **BEFORE PLACING CONCRETE** schedule a pre-pour inspection.
 - * A minimum of a **ONE HOUR** window is required when scheduling for inspection.
- FOUNDATION INSPECTION:**
 - * Upon completion of water proofing and drain proofing, drain tile with stone in place, and prior to backfilling.
- UNDERGROUND PLUMBING, SANITARY INSPECTION:**
 - * After complete installation of all underground plumbing & sanitary systems components. ***Note: Exposure of pipe sleeve and entire building drain and branches must be visible inside and outside of the exterior wall and have full continuous support upon a bed of clean fill (i.e. stone, gravel or sand). The entire underground system must be under test with either an air pressure test (if permitted by the manufacture of the piping) with 5 psi of air for 15 min., 10' head of water if water tested or vacuum test with a -2 vac for 15 min.***

UNDERGROUND ELECTRIC, MECHANICAL, GAS PIPING, Etc. INSPECTION:

- * After complete underground installations of all electrical conduit, ductwork, hydronic piping, fuel gas piping. **Note: for electrical conduit and gas piping installations it is only necessary to leave three feet of each end of the trench open for inspection; on connections over 100 feet in length the middle portion of the trench will also need to be left open for inspection.**

UNDER SLAB UTILITIES INSPECTION:

- * After all service equipment, conduit, piping accessories and other ancillary equipment items are in place, but **BEFORE PLACING ANY CONCRETE OR INSTALLING ANY FLOOR SHEATHING, INCLUDING THE SUB FLOOR** schedule a pre-pour and / or pre-sheathing inspection.
- * A minimum of a **ONE HOUR** window is required when scheduling for inspection.

CONCRETE SLAB:

- * Upon completion of insulation, vapor barriers, mesh, re-enforcement, isolation joint, etc. but **BEFORE INSTALLING CONCRETE** schedule a pre-pour inspection

ROUGH-IN INSPECTIONS:

- * **All additional permits must be on file (electrical, mechanical, plumbing, gas piping, etc.)**
Rough-in inspection compliance approval for framing / structure, electrical, mechanical, plumbing, gas piping, pre-fabricated fireplaces and any other essential components relevant to the overall construction in any area, is required before concealment.

In addition to the approved construction documents, the following items listed below must be on site for the framing inspection:

- Roof truss design drawings (depiction of each individual truss), and the truss layout drawing.
- Manufacturer instructions for:
 - Factory made fireplaces (prefab)
 - Corrugated stainless steel tubing (CSST)
 - (Manufacturer's instructions for other equipment or appliances as required)
- **ELECTRICAL:** Complete electrical rough-in with all splicing in boxes ready to receive devices.
- **MECHANICAL:** Complete mechanical installations including all ductwork, fuel gas piping equipment and electrical connections. Heat pipes in concrete slab to be inspected prior to pouring concrete.
- **PLUMBING:** Complete plumbing installations including all waste, vent, drain, water distribution.
Note - The entire waste/vent/drain system must be under test with either an air pressure test (if permitted by the manufacture of the piping) with 5 psi of air for 15 min., 10' head of water if water tested or vacuum test with a -2 vac for 15 min.

MASONRY FIREPLACE INSPECTION:

- * To be inspected at the top of smoke chamber when first flue tile is set and smoke chamber parged.

ENERGY EFFICIENCY – INSULATION INSPECTION:

- * After all rough inspections and any other work that may be concealed have been inspected for compliance.
- * Insulation is completely installed but prior to placement of any drywall or other covering.
- * Inspections shall include, but not limited to, inspections for envelope insulation R and U value, fenestration U value, duct system R value, and HVAC and water heating equipment efficiency.

FIRE RESISTANCE RATED CONSTRUCTION INSPECTIONS:

- * Protection of joints and penetrations in fire-resistance-rated assemblies shall not be concealed from view until inspected for compliance.
- * After all wallboard is installed and before wallboard joints and fasteners are taped and finished.

ELECTRICAL SERVICE INSPECTION: (Temporary or Permanent. Please provide work order number)

- * **Temporary Power Pole** – prior to utility company hook up.
- * **Permanent Electrical Service** – When main panel is installed and grounding is complete with cover off prior to utility company hook up.
- * **Service Underground** – When wire / feeder, direct burial warning ribbon and conduit (if required) has been installed. **Note: it is only necessary to leave three feet of each end of the trench open for inspection; on runs over 100 feet in length the middle portion of the trench will also need to be left open for inspection.**
- * **Approval** is emailed the next business day to the utility company. The electrical contractor/owner is responsible for scheduling hook up with the appropriate utility company

DEMOLITION INSPECTION:

- * **Final inspection** – A final inspection is required after all demolition debris, driveway (if applicable) and any other materials from the structure have been removed and all areas disturbed by the demolition are reseeded and prepared for new grass growth.

FINAL INSPECTION:

- * A final inspection and approval is required upon completion and approval of all phases of any construction **prior to occupancy**. Note: On the final inspection, the covers of all electrical panels must be removed.
- * **Final Plumbing** – Drainage and Vent Final Test. Water may be added to a water closet bowl or trap tailpiece extension until the water level is at least one inch higher than the original trap seal. Per 2024 OPC section 312.4 & 312.4.2:
For Non Residential / Commercial plumbing installations a final water column test is required if any of the following conditions exist
 1. New installation more than 5000 sq feet in combined floor area
 2. More than one story of construction
 3. More than two plumbing areas (bathroom groups, kitchen, laundry room etc.)**Exception:** Installation(s) that are connecting to existing waste and vent systems that the new installation is not able to be isolated for testing will not be required to have a final water column test.
- * **Fuel Piping** – All fuel piping installations must have a fuel piping pressure acceptance test certificate submitted to and approved by the Lake County Building Department. See required Acceptance Test Information.
- * **Energy Efficiency** - All required energy efficiency verification and test reports (visual inspection, duct leakage test, blower door test, etc.) must be submitted and approved by the Lake County Building Department.
- * **Final Grading** – Contact your local jurisdiction’s engineer to request a final grading inspection/approval. If in a township, contact the Lake County Engineer’s office (440-350-2770); otherwise contact your local city or village engineer.
- * **Special Inspections** – All Special Inspection Reports (OB Section 1704) must be submitted and approved to the Lake County Building Department before a final inspection can be scheduled.

□ REQUIRED ACCEPTANCE TESTS:

- Fuel Piping Installations** – Prior to acceptance and initial operation, fuel piping shall be inspected and pressure tested to determine that the materials, design, fabrication and installation practices comply with the requirements of this code. All fuel piping Installations must have a **Fuel Piping Pressure Acceptance Test Certificate** submitted to and approved by the Lake County Building Department. (OBC 109.9, RCO 108.2.9)
- For residential projects: **Building Envelope Tightness Test Verification Form** (Blower Door) and the **Duct Tightness Test Verification Form** when required.

NOTE: Fire Department inspections do not supersede or negate the need for Building Department inspections. The contractor / owner must coordinate with the Building Department and the Fire Department to ensure both entities have completed their respective / required inspections.

- Automatic Sprinkler System**- After scheduling tests with the local fire department notify the Lake County Building Department of the date and time of the test and provide Sprinkler Acceptance Test Certificate as required by OBC 901.5 and NFPA 13.
- Fire Alarm Systems** – Upon completion of the installation of the alarm notification appliances and circuits, alarm-initiating devices and circuits, supervisory-signal initiating devices and circuits, signaling line circuits, and primary and secondary power supplies shall be tested in accordance with NFPA 72.
 - After scheduling tests with the local fire department, notify the Lake County Building Department of the date and time of the test.
 - Provide Acceptance Test Certificate as required by OBC 901.5
- Automatic Fire-Extinguishing System** – including commercial hood and duct systems, commercial cooking systems, foam systems, Halon systems, clean agent systems, carbon dioxide

CONFIRMATION OF APPROVALS REQUIRED TO ISSUE A CERTIFICATE OF OCCUPANCY

- **Final inspection** by Lake County Building Department
- **Final Grade/Drainage Inspection Form** from the Lake County Engineers' office or the jurisdiction city/village engineer final grade/drainage inspection form.

ADDITIONAL, PARTIAL, AFTER/BEFORE HOURS OR WEEKEND INSPECTIONS
(Based on inspector availability)

In the event an additional, partial, after hour or weekend inspection is needed to keep the project moving it can be provided for an additional fee. See fee sheet or call for more information.

Such Inspections would be:

- Additional or partial inspection during regular business hours.
 - Example – partial footer & partial rough inspections.
- Additional, partial, after / before hour weekday inspection. (7:00 am – 8:00 am, 4:30 pm – 5:30 pm)
- Additional, partial weekend and before 7:00 am or after 5:30 inspection.
- Fees to be paid for prior to inspections

CERTIFICATE OF OCCUPANCY COPIES

Contact the Lake County Building Department to request a certificate of occupancy.

LAKE COUNTY BUILDING DEPARTMENT

27 Woodland Road, Painesville, Ohio 44077

(440)350-2636 FAX (440)350-2660

E-MAIL: lcdb@lakecountyohio.gov

www.lakecountyohio.gov/buildinginspection/

Pursuant to the 2011 Ohio Building Code, Section 106: 106.1.2(5), if you are submitting drawings to the Lake County Building Department for permits for any of the following you must also immediately submit a set of drawings to the Local Fire Department for review. (PLEASE SPECIFY TYPE OF DRAWINGS)

New Buildings
Additions
Alterations

Fire Alarms
Fire Sprinklers
Fire Suppression
Grease Hood

Once the drawings have been submitted to the Local Fire Department, the Fire Official will review the drawings and submit notification and any comments he/she may have regarding the drawings to the Lake County Building Department.

PLEASE COMPLETE THE BOTTOM PORTION OF THIS PAGE FOR EACH SUBMITTAL.

PROJECT TYPE: Restroom Renovations DATE SUBMITTED: 4/15/25

PROJECT NAME: Restroom Renovation - Pine Ridge Country Club

ADDRESS OF CONSTRUCTION: 30601 Ridge Rd.
Wickliffe

CONTRACTOR: Lake Metroparks

CONTRACTOR'S CONTACT NUMBER: 440-639-7275 ex 1608

CONTRACTOR'S FAX NUMBER: 440-639-9124

CONTRACTOR'S E-MAIL ADDRESS: tlanc@lakemetroparks.com

FIRE DEPARTMENT USE ONLY

DATE RECEIVED: 4/15/25 DATE MAILED/FAXED: 4/22/25

FIRE OFFICIAL'S COMMENTS: Approved w/ conditions. See Attached

[Signature] CAPTAIN JAMES ISON - FIRE MGR/SAF 440 391 1884
SIGNATURE / NAME TITLE PHONE NUMBER



Wickliffe Fire Department

29885 Euclid Avenue
Office 440-943-7141
Fax 440-943-7144

Occupant Name:	Pine Ridge Country Club/Dino's Catering and Clubhouse	Inspection Date:	4/15/2025
Address:	30601 Ridge Road	Inspection Type:	Plan Review - Building
Structure Name:	Main Building / banquet hall	Inspected By:	James Isom
Suite:			

Inspector Comments:

General Inspector comments:

Plan Date: 01/15/24

Review Type: For Building Permit

Building Description: Existing A-2 Banquet Hall.

Project Type: Demolition and renovation of men's and women's restrooms on floors G, 1 and 2.

Project Name: Proposed Restroom Renovations-Lake Metroparks, Pine Ridge Country Club

Designer: Ray B. Delamotte, Jr, State of Ohio Registered Architect, No. 7668

Contractor: TBD

Code Edition(s) used for Review: 2024 OBC, 2017 OFC and their referenced standards.

The following comments shall not be construed as correction orders unless attached and/or referenced in any subsequent correction letter produced as part of the certified building department's plan review process.

GENERAL

Submitted for review were General Data – Architectural Sheets: G-1, A-1-A5, Mechanical: DP-1, P-1, Electrical: DE-1, E-1

PROJECT DESCRIPTION

Owner is seeking to renovate restrooms on first and second floor of a banquet hall. Project will include modifications of fire alarm system and fire sprinkler system.

BUILDING CODE ANALYSIS (OBC 2024)

Use Group: A-2

Type of construction: IIIB (OBC Table 601)

Alteration: Level 1

Work Area: 1168 SF

Ground Floor: 394 SF

First Floor: 411 SF

Second Floor: 363 SF

FIRE-RESISTANCE-RATED CONSTRUCTION (OBC Tables 601 & 602 & Chapter 7)

Construction type IIIB Fire Resistance Rating Requirements: 0-In compliance.

Through Penetrations:

Quoted from Electrical General Notes, E-1: . "FIRE SEAL OPENINGS AROUND ALL CONDUIT PENETRATIONS. PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SEALED WITH LISTED FIRE RATED MATERIALS."

Reviewer Comment: Acknowledged

INTERIOR FINISHES (OBC Chapter 8)

Ceilings (ACT)

7) Compliance with Interior Finish Requirements for ACT Ceilings verified by review using material data sheet provided by Armstrong World Industries. Classification on plans: Class A. Classification required: Class C - Flame spread index 76—200; smoke-developed index 0—450. See OBC Table 803.13

Floors

8) Compliance with interior floor finish requirements could not be determined from the information contained within the drawings. In all occupancies, interior floor covering materials shall comply with the requirements of the DOC FF-1 "pill test" (CPSC 16 CFR Part 1630) or with ASTM D2859. See OBC 804.4.1

Reviewer comment: Provide material data sheet indicating fire resistance rating of the LVT to be used in the existing bridal rooms.

FIRE PROTECTION (OBC Chapter 9)

Automatic Sprinkler System (903)

Plans indicate modification of the existing sprinkler system. The design of the sprinkler system in the proposed space shall be provided as a deferred submittal by others under a separate permit.

Inspector comment: Except for public and private mobile fire trucks, no person shall engage in the business of servicing, testing, repairing, or installing fire protection or fire fighting equipment for profit without first being certified by the state fire marshal, as required by Section 3737.65 of the Revised Code and this code. See 2017 OFC 916.2

Fire Alarm & Detection Systems (907)

Plans indicate modification of the existing fire alarm system. The design of the fire alarm system in the proposed space shall be provided as a deferred submittal by others under a separate permit.

Inspector comment: Except for public and private mobile fire trucks, no person shall engage in the business of servicing, testing, repairing, or installing fire protection or fire fighting equipment for profit without first being certified by the state fire marshal, as required by Section 3737.65 of the Revised Code and this code. See 2017 OFC 916.2

This review is based upon and limited to the information presented on the drawings and/or material submitted. Matters not presented within the construction documents submitted nor items not requested for review, which are required for the granting of permits, are assumed to be reviewed by others and not to be considered as part of this review unless otherwise herein specifically requested.

Approval of plans does not remove the contractor or other responsible party from responsibility for adhering to all applicable codes and ordinances.

Inspector:

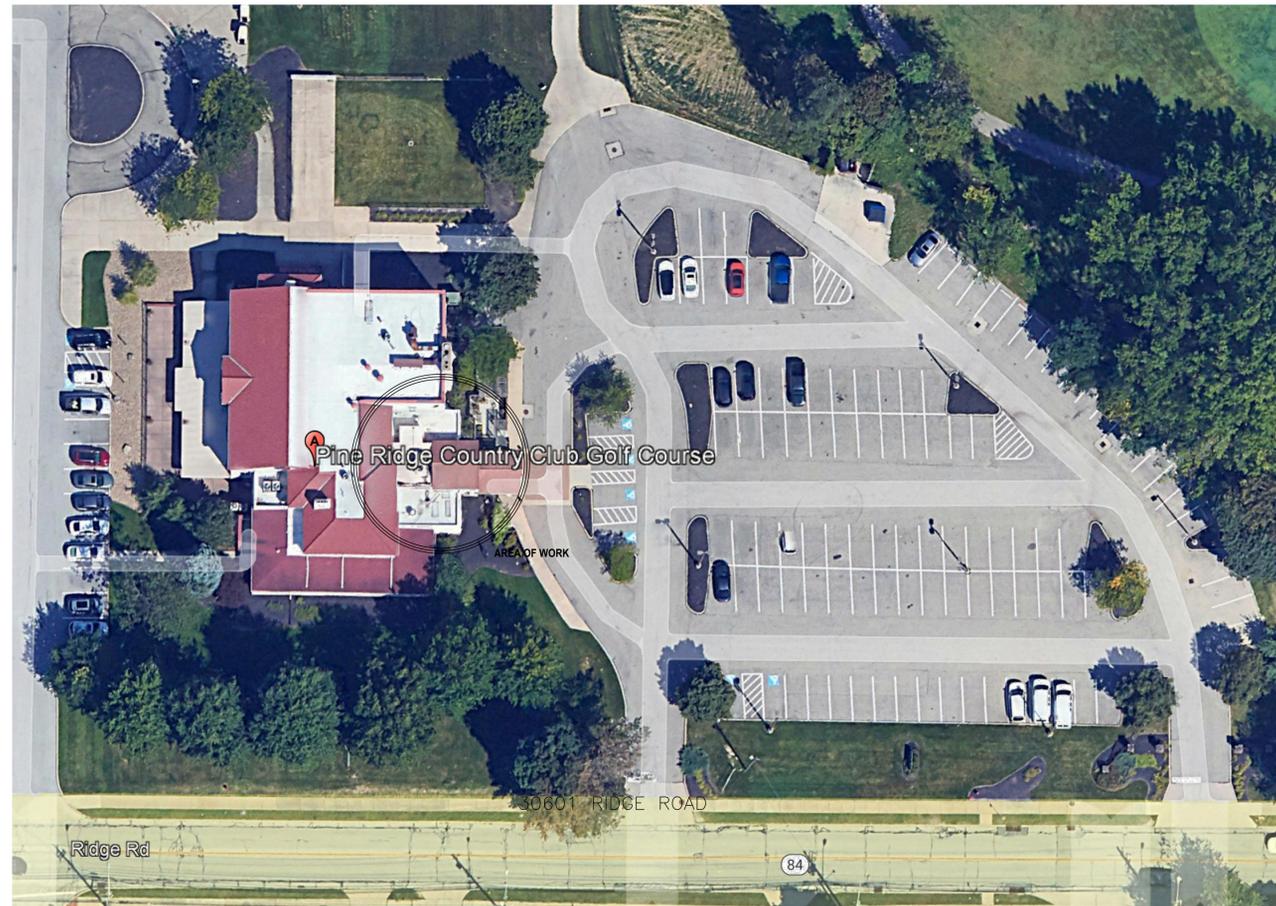
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36656
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Signature file missing
Signature valid only in mobile-eyes documents
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4/15/2025

Ref: 36656



LAKE METROPARKS PINE RIDGE COUNTRY CLUB

PROPOSED RESTROOM RENOVATION 30601 RIDGE RD., WICKLIFFE, OH 44092



LOCATION MAP
SCALE: NONE



BUILDING CODE ANALYSIS OHIO EXISTING BUILDING CODE 2024

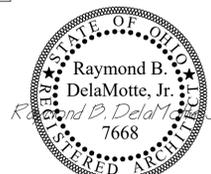
USE GROUP: (OBC 303.3) A-2 BANQUET HALL
TYPE OF CONSTRUCTION: III B (OBC Table 601)
ALTERATION LEVEL 1

WORK AREA: 1,168 S.F.
GROUND FLOOR 394 S.F.
FIRST FLOOR 411 S.F.
SECOND FLOOR 363 S.F.

EXISTING SPRINKLER SYSTEM.

DRAWING INDEX

ARCHITECTURAL	
G-1	TITLE SHEET, DRAWING INDEX, AND CODE ANALYSIS
A-1	DEMOLITION PLANS
A-2	FLOOR PLANS
A-3	CEILING PLANS
A-4	INTERIOR ELEVATIONS
A-5	DETAILS
MECHANICAL	
DP-1	PLUMBING DEMOLITION PLANS
P-1	PLUMBING PLANS
ELECTRICAL	
DE-1	ELECTRICAL DEMOLITION PLANS
E-1	ELECTRICAL PLANS



Raymond B. DeLaMotte, Jr. 7668
Expiration Date: 12/31/2025

General Notes

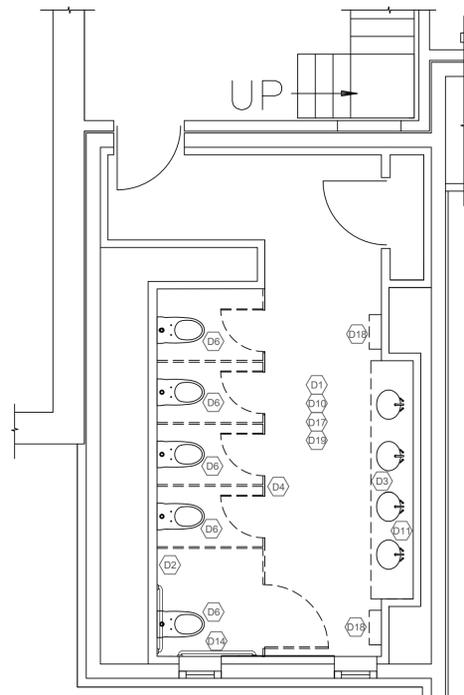
- CONTRACTOR TO PERFORM WORK IN ACCORDANCE WITH THE OHIO BUILDING CODE AND ALL APPROPRIATE LOCAL CODES WHETHER INDICATED ON DRAWINGS OR NOT.
- THE CONTRACTOR(S) SHALL HAVE THE RESPONSIBILITY TO BE FAMILIAR WITH THE ARCHITECTURAL WORK AS WELL AS THE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION BEFORE INSTALLATION OF THE WORK. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR(S) SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION BEFORE COMMENCEMENT OF WORK.
- BIDDING CONTRACTORS SHALL VISIT THE SITE AND BECOME KNOWLEDGEABLE OF EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.
- THE SCALE SHOWN ON THE DRAWINGS ARE FOR FULL SIZE (24"x36") SHEETS.
- DIMENSIONS SHOWN ARE APPROXIMATE DIMENSIONS OF EXISTING CONDITIONS. DIMENSIONS TO BE VERIFIED PRIOR TO NEW CONSTRUCTION.
- HVAC AND ELECTRICAL WORK IS AN EXTENSION OF EXISTING SERVICES AND ALL NEW WORK MUST COMPLY WITH THE OHIO BUILDING, MECHANICAL AND ELECTRICAL CODES.

No.	Revision/Issue	Date
	Issued For Permits	1/13/25

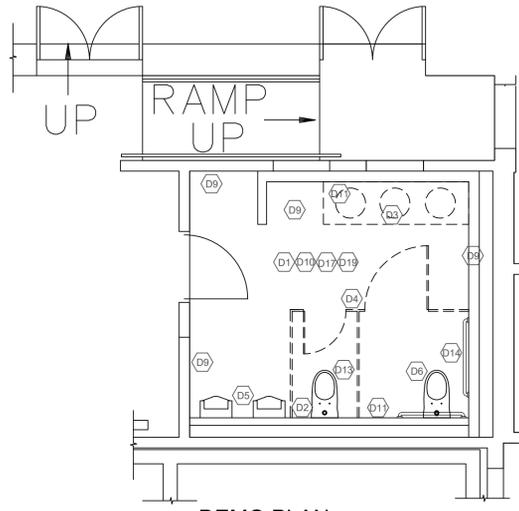
Firm Name and Address
ray b. DeLaMotte, Jr.
Architect
616 Mentor Ave. Painesville, Ohio 44077
(440) 221-5471 rdela@delamotte.com

Project Name and Address
Proposed Restroom Renovations:
Lake Metroparks
Pine Ridge Country Club
30601 Ridge Rd., Wickliffe, OH 44092

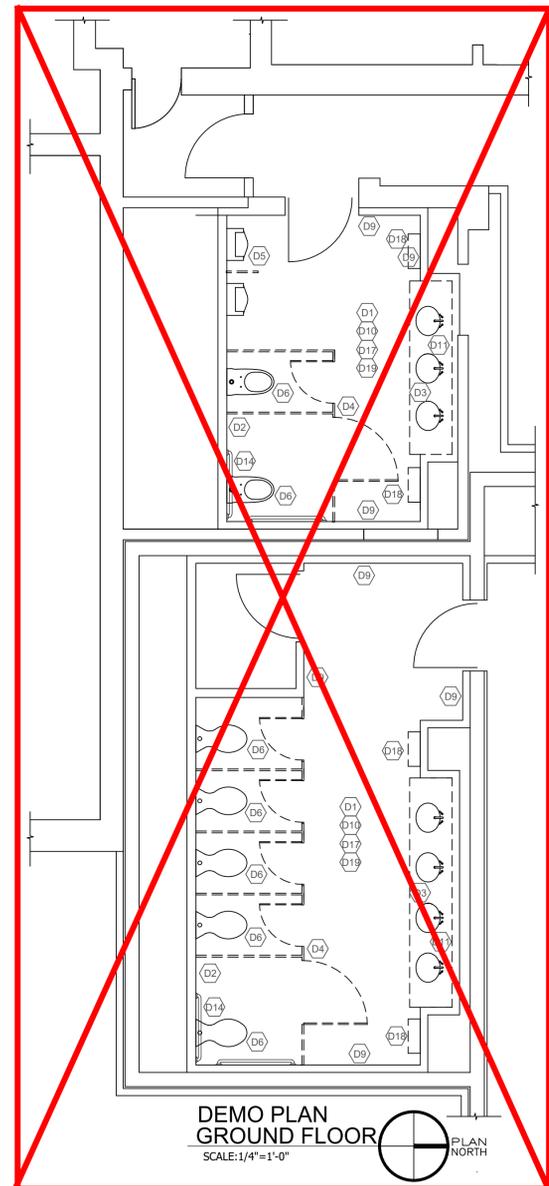
Project 202403	Sheet
Date 12/24	G1
Drawing Title Title Sheet	



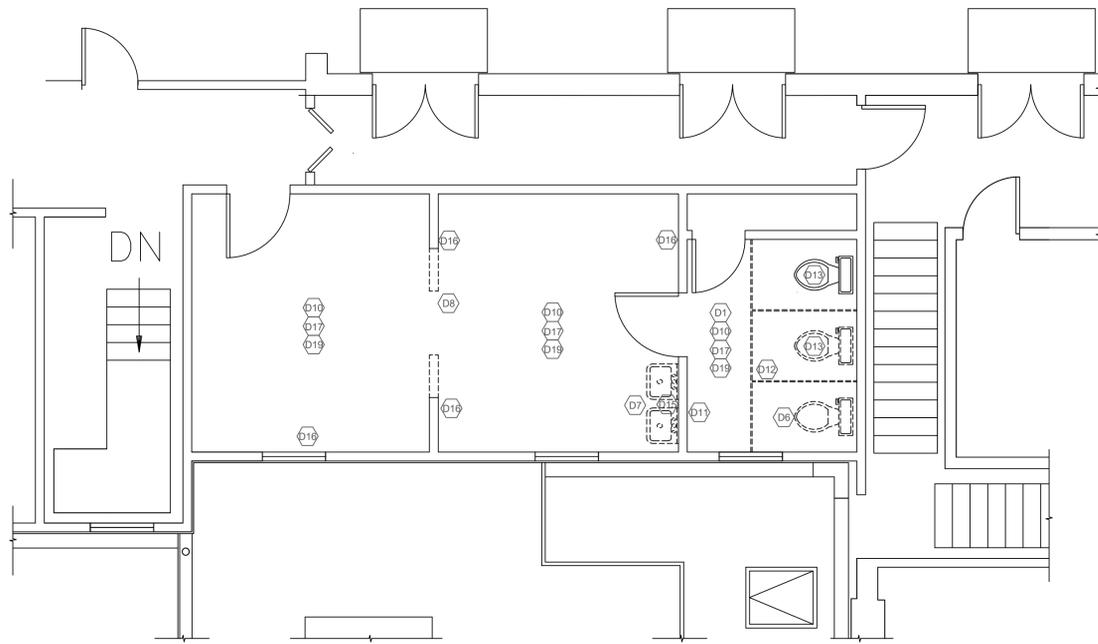
**DEMO PLAN
1st FLOOR**
SCALE: 1/4"=1'-0"



**DEMO PLAN
1st FLOOR**
SCALE: 1/4"=1'-0"



**DEMO PLAN
GROUND FLOOR**
SCALE: 1/4"=1'-0"



**DEMO PLAN
2nd FLOOR**
SCALE: 1/4"=1'-0"

363 SF

CODED DEMO NOTES

- D1 REMOVE FLOOR TILE AND BASE.
- D2 REMOVE WALL TILE AND BASE.
- D3 REMOVE COUNTER WITH LAVATORIES. SEE PLUMBING DRAWINGS FOR RELATED DEMO REQUIREMENTS.
- D4 REMOVE TOILET PARTITIONS.
- D5 REMOVE URINALS AND RETAIN FOR RE-INSTALLATION. SEE FLOOR PLANS FOR REVISED LOCATIONS. SEE PLUMBING DRAWINGS FOR RELATED DEMO REQUIREMENTS.
- D6 REMOVE WATER CLOSET AND RETAIN FOR RE-INSTALLATION. SEE FLOOR PLANS FOR REVISED LOCATIONS. SEE PLUMBING DRAWINGS FOR RELATED DEMO REQUIREMENTS.
- D7 REMOVE PEDESTAL SINKS. SEE PLUMBING DRAWINGS FOR RELATED DEMO REQUIREMENTS.
- D8 REMOVE PORTION OF EXISTING WALL, AS SHOWN, TO INCREASE WIDTH OF EXISTING OPENING. RETAIN BASE TRIM FOR RE-INSTALLATION IN NEW LOCATION.
- D9 REMOVE WALL COVERING AND PREP WALL SURFACE TO RECEIVE NEW FINISH.
- D10 REMOVE MISCELLANEOUS PAPER TOWEL HOLDERS, WALL HOOKS, MIRRORS, ART WORK, FURNITURE AND LIGHT FIXTURES. RETAIN FOR REUSE.

CODED DEMO NOTES

- D11 REMOVE DRYWALL TO 4'-0" ABOVE FINISH FLOOR TO ACCOMMODATE PLUMBING WORK AS REQUIRED.
- D12 REMOVE TOILET PARTITIONS AND RETURN TO OWNER FOR FUTURE USE.
- D13 REMOVE WATER CLOSET. SEE PLUMBING DRAWING FOR PLUMBING DEMOLITION.
- D14 REMOVE GRAB BARS AND RETAIN FOR RE-INSTALLATION FOLLOWING APPLICATION OF WALL TILE.
- D15 EXISTING MIRROR TO REMAIN.
- D16 REMOVE MANTEL AND RELATED TRIM. PREP WALL TO RECEIVE NEW ELECTRIC FIREPLACE.
- D17 REMOVE ALL LIGHT FIXTURES. SEE ELECTRICAL DRAWINGS FOR DEMOLITION NOTES.
- D18 REMOVE RECESSED COMBINATION TOWEL/WASTE UNITS.
- D19 REMOVE ALL MISCELLANEOUS WALL MOUNTED TOILET ACCESSORIES, COAT HOOKS AND ART WORK.

ALL DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM DEMOLITION AND NEW CONSTRUCTION SHALL BE TRANSPORTED AND LEGALLY DISPOSED OF OFF-SITE. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, NOTIFY ARCHITECT, THEN COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. COORDINATE VEHICLE ACCESS TO SITE WITH OWNER.

**NOT FOR
CONSTRUCTION**

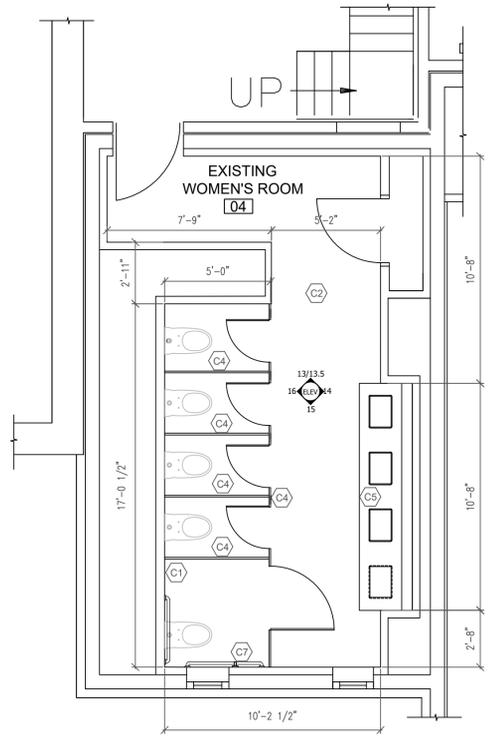
General Notes

No.	Revision/Issue	Date
	Issued for Permits	1/13/25
	Issued for Bidding	1/13/25

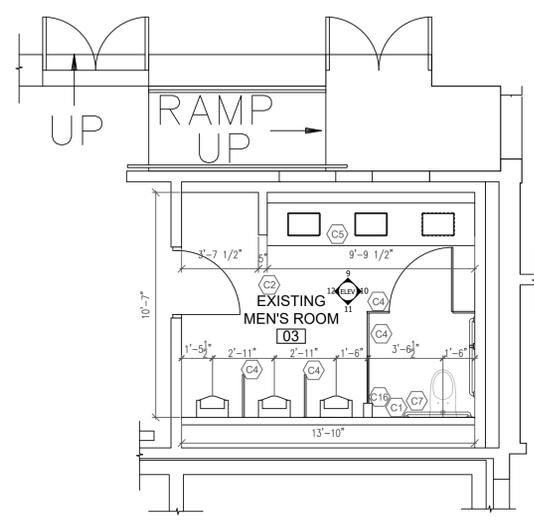
Firm Name and Address
**ray b.
DelaMotte, Jr.
Architect**
 616 Mentor Ave. Painesville, Ohio 44077
 (440) 221-5471 rdelamotte@yahoo.com

Project Name and Address
Proposed Restroom Renovations:
 Lake Metroparks
 Pine Ridge Country Club
 30601 Ridge Rd., Wickliffe, OH 44092

Project 202403	Sheet
Date 12/24	A1
Scale Demo Plan	

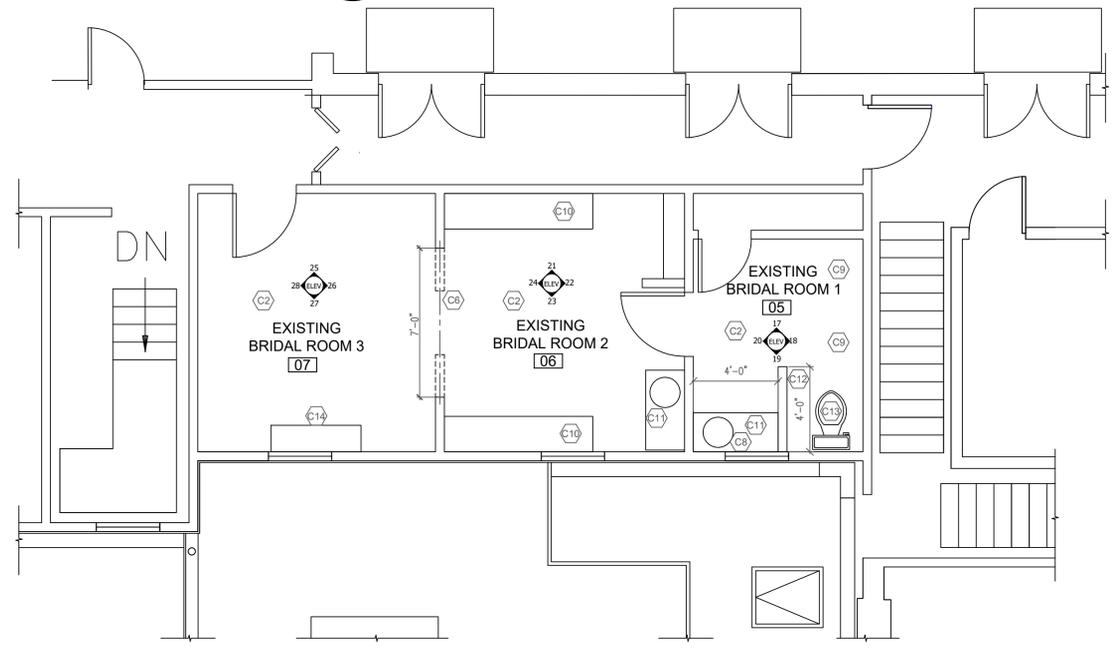


PROPOSED PLAN 1st FLOOR
SCALE: 1/4"=1'-0"
PLAN NORTH

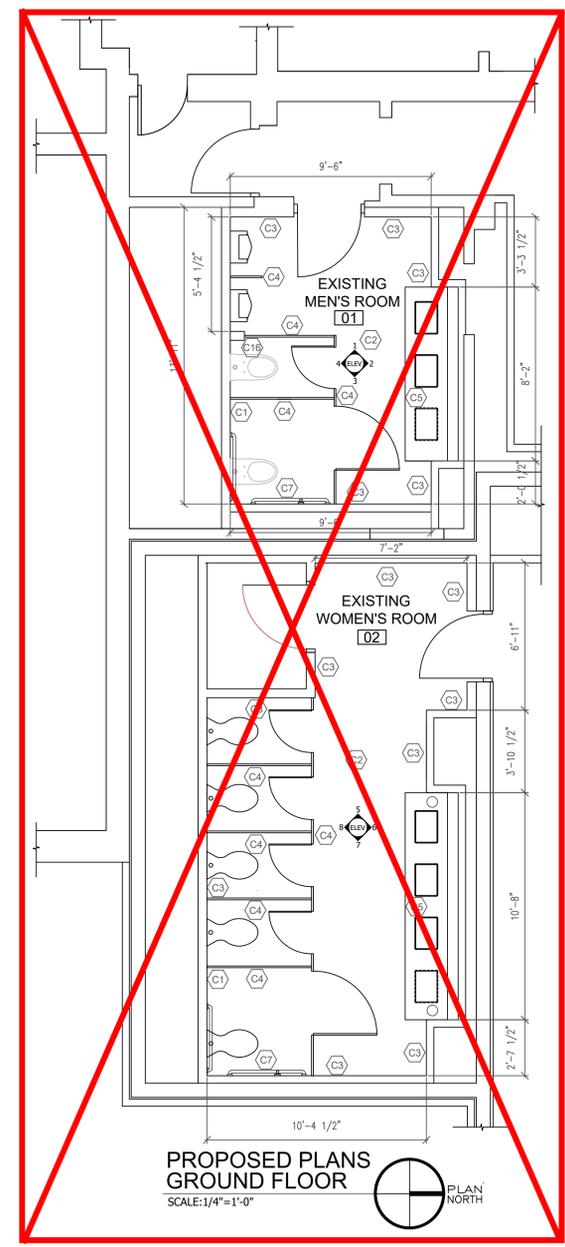


PROPOSED PLAN 1st FLOOR
SCALE: 1/4"=1'-0"
PLAN NORTH

NOTE: DIMENSIONS SHOWN ARE APPROXIMATE MEASUREMENTS OF EXISTING CONDITIONS AND PROVIDED FOR THE PURPOSE OF ESTIMATING ONLY. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING DIMENSIONS FOR NEW CONSTRUCTION.



PROPOSED PLAN 2nd FLOOR
SCALE: 1/4"=1'-0"
PLAN NORTH



PROPOSED PLANS GROUND FLOOR
SCALE: 1/4"=1'-0"
PLAN NORTH

CODED NOTES

- C1 INSTALL NEW GYP. DRYWALL AFTER PLUMBING WORK IS COMPLETED, AND PREP SURFACE TO RECEIVE NEW WALL FINISH. WHERE WALL TILE WAS REMOVED FROM FULL WALL APPLY GYP. DRYWALL TO ENTIRE WALL. SEE "BASIS OF DESIGN" LIST BELOW.
- C2 PREP EXISTING FLOOR SURFACE AND INSTALL NEW FLOOR TILE. SEE ELEVATIONS AND "BASIS OF DESIGN" LIST ON SHEET A-4.
- C3 PREP EXISTING WALL SURFACE AND INSTALL NEW WALL TILE AND CHAIR RAIL. SEE ELEVATIONS AND "BASIS OF DESIGN" LIST ON SHEET A-4.
- C4 INSTALL NEW TOILET & URINAL PARTITIONS. SEE ELEVATIONS AND "BASIS OF DESIGN" LIST ON SHEET A-4.
- C5 INSTALL NEW LAVATORY QUARTZ COUNTERTOP WITH NEW VESSEL SINKS AND FAUCETS. SEE LAVATORY (EQUIPMENT) ELEVATION AND SECTION ON SHEET A-5 AND "BASIS OF DESIGN" LIST BELOW.
- C6 MODIFY EXISTING OPENING. INSTALL NEW DOUBLE 2x10 HEADER, PATCH AND MATCH WALL SURFACES AND TRIM WITH 1/6 CASING WITH 1-1/8"x1-1/8" OUTSIDE CORNER MOULDING.
- C7 RE-INSTALL GRAB BARS INCLUDING NEW VERTICAL GRAB BAR. SEE "BASIS OF DESIGN" LIST BELOW.
- C8 RE-INSTALL MIRROR. SEE ELEVATION ON SHEET A-4.
- C9 PATCH FLOOR WHERE WATER CLOSETS WERE REMOVED AND PREP TO RECEIVE NEW FLOOR TILE.
- C10 BRACKET SUPPORTED COUNTER. SEE ELEVATION, SECTION AND "BASIS OF DESIGN" LIST ON SHEET A-5.
- C11 BASE CABINETS WITH QUARTZ COUNTERTOP AND VESSEL SINK. SEE ELEVATION AND "BASIS OF DESIGN" LIST ON SHEET A-5.
- C12 PARTIAL GYP. BD. PARTITION WITH 1x6 PAINTED WOOD CAP. SEE ELEVATION FOR HEIGHT.
- C13 RELOCATED WATER CLOSET. SEE PLUMBING DRAWINGS.
- C14 NEW ELECTRIC FIREPLACE. SEE ELEVATIONS, "BASIS OF DESIGN" LIST AND ELECTRICAL DRAWINGS.
- C15 LUXURY VINYL TILE FLOORING. SEE "BASIS OF DESIGN" LIST BELOW.
- C16 NEW 5'x8" GYP. DRYWALL PLASTER FROM FLOOR TO CEILING. CENTER TOILET PARTITION ON PLASTER.

BASIS OF DESIGN

THE FOLLOWING IS INTENDED TO BE A LIST OF "BASIS OF DESIGN" MATERIALS AND EQUIPMENT AND NOT A PROPRIETARY SPECIFICATION. SUBSTITUTE OR "OR EQUAL" ITEM OF MATERIAL OR EQUIPMENT MAY BE INCLUDED IN THE BID OR FURNISHED BY THE CONTRACTOR IF ACCEPTABLE TO THE ARCHITECT. CONTRACTOR SHALL SUBMIT SUFFICIENT INFORMATION TO THE ARCHITECT TO ALLOW A DETERMINATION THAT ITEM OF MATERIAL OR EQUIPMENT PROPOSED IS ESSENTIALLY EQUIVALENT TO THAT NAMED AS "BASIS OF DESIGN".

GYP. DRYWALL: USG SHEETROCK BRAND 5/8" ECOMART PANELS MOLD TOUGH FIRECODE X ON WALLS.
TOILET AND URINAL PARTITIONS: ELITE PLUS 72" PHENOLIC PEDESTAL MOUNTED TOILET AND URINAL PARTITIONS, 9" OFF FINISHED FLOOR WITH MATTE BLACK PEDESTALS AND HARDWARE, 317 FIELD ELM FINISH.
FLOOR TILE: HAPPY FLOORS COMPANY 13x24 SALT ROCK COLLECTION STONE LOOK FLOOR TILE, ICE/MATTE COLOR. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.
WALL TILE: VIRGINIA TILE COMPANY, HAMMER AQUA 2x6 FIELD TILE GLOSSY. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.
CHAIR RAIL: SOHO STUDIO, 2x12 ALCHIMIA BLUE CHAIR RAIL CERAMIC TILE. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.
GRAB BAR: 1-1/2" DIA. STAINLESS STEEL GRAB BAR. BOBRICK, 6808x18
ELECTRIC FIREPLACE: SOUTHERN ENTERPRISES HUNDERA 51" TOUCH PANEL ELECTRIC FIREPLACE IN WHITE WITH WHITE AND GRAY MARBLE. AVAILABLE THROUGH HOME DEPOT.
LUXURY VINYL TILE: SHAW BELLMONT FRESCO 12"x 24.01" FLOATING LUXURY VINYL TILE FLOORING. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS: MATERIAL / FINISH				CEILING	REMARKS
				NORTH	EAST	SOUTH	WEST		
01	EXIST. MEN'S RM.	CT	CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	ACT	SEE TILE DETAILS ON SHEET A-4
02	EXIST. WOMEN'S RM.	CT	CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	EX/PNT	SEE TILE DETAILS ON SHEET A-4
03	EXIST. MEN'S RM.	CT	CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	ACT	SEE TILE DETAILS ON SHEET A-4
04	EXIST. WOMEN'S RM.	CT	CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	EX/PNT-CT	ACT	SEE TILE DETAILS ON SHEET A-4
05	EXIST. BRIDAL RM.	LVT	CT	EX/PNT	EX/PNT	EX/PNT	EX/PNT	DCC/PNT	SEE RCP
06	EXIST. BRIDAL RM.	LVT	EX	EX/PNT	EX/PNT	EX/PNT	EX/PNT	EX/PNT	SEE RCP
07	EXIST. BRIDAL RM.	LVT	EX	EX/PNT	EX/PNT	EX/PNT	EX/PNT	EX/PNT	

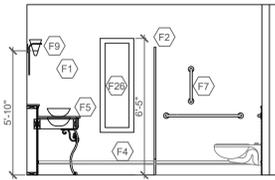
ABBREVIATIONS:
 CT CERAMIC TILE
 CPT CARPET
 DCC DECORATIVE COFFERED CEILING
 GBD GYPSUM BOARD DRYWALL
 ACT ACOUSTIC LAY-IN TILE
 PNT PAINT
 EX EXISTING
 RCP REFLECTED CEILING PLAN
 LVT LUXURY VINYL TILE

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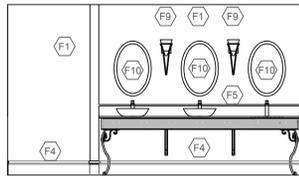
Firm Name and Address
ray b. DelaMotte, Jr.
 Architect
 616 Mentor Ave. Painesville, Ohio 44077
 (440) 221-5471 rdelamotte@yahoo.com

Project Name and Address
Proposed Restroom Renovations:
 Lake Metroparks
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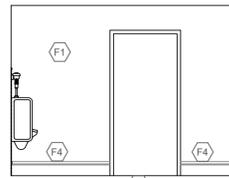
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202403	
Date	
12/24	
Scale	
Proposed Plans	A2



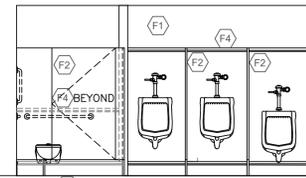
10 ELEVATION
Scale: 1/4" = 1'-0"



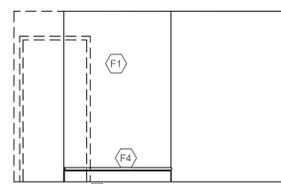
9 ELEVATION
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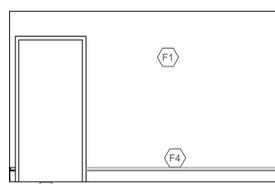
12 ELEVATION
Scale: 1/4" = 1'-0"
NOTE: TILE NOT RENDERED IN ALL ELEVATIONS FOR CLARITY.



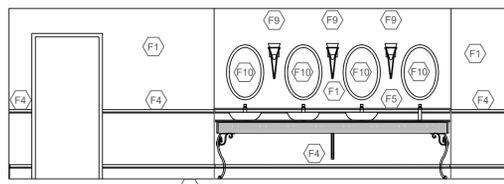
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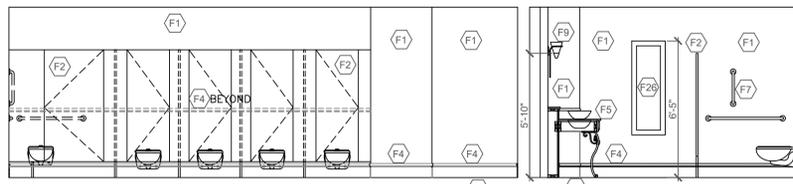
13.5 ELEVATION
Scale: 1/4" = 1'-0"



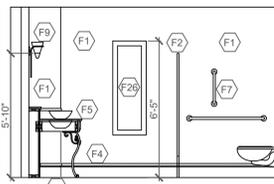
13 ELEVATION
Scale: 1/4" = 1'-0"



14 ELEVATION
Scale: 1/4" = 1'-0"

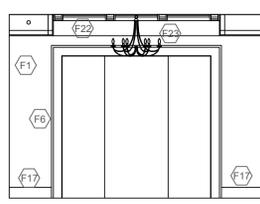


16 ELEVATION
Scale: 1/4" = 1'-0"

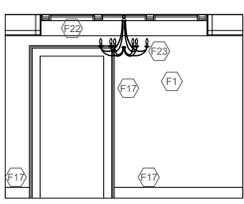


15 ELEVATION
Scale: 1/4" = 1'-0"

NOTE: TILE NOT RENDERED IN ALL ELEVATIONS FOR CLARITY.



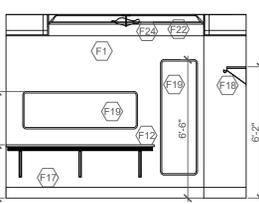
26 ELEVATION
Scale: 1/4" = 1'-0"



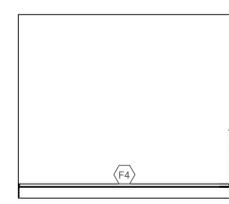
25 ELEVATION
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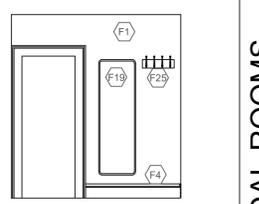
22 ELEVATION
Scale: 1/4" = 1'-0"



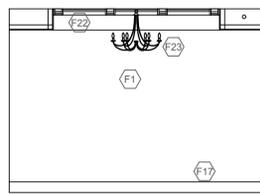
21 ELEVATION
Scale: 1/4" = 1'-0"



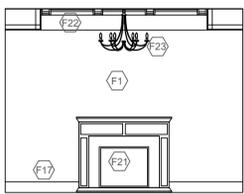
18 ELEVATION
Scale: 1/4" = 1'-0"



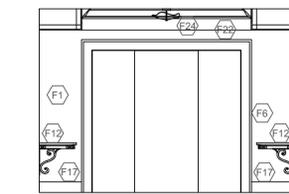
17 ELEVATION
Scale: 1/4" = 1'-0"



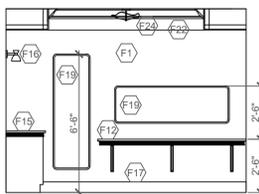
28 ELEVATION
Scale: 1/4" = 1'-0"



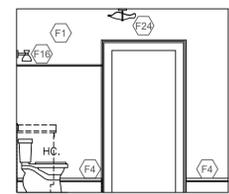
27 ELEVATION
Scale: 1/4" = 1'-0"



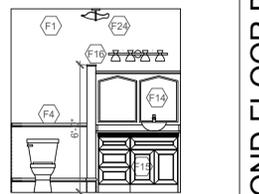
24 ELEVATION
Scale: 1/4" = 1'-0"



23 ELEVATION
Scale: 1/4" = 1'-0"

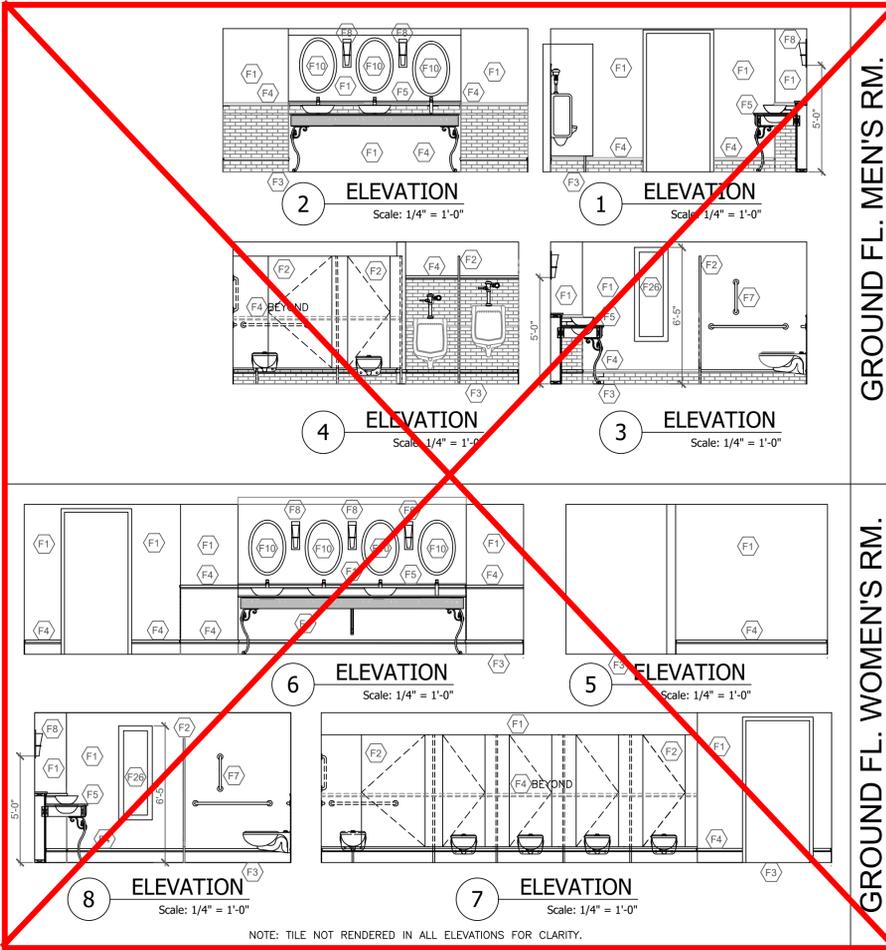


20 ELEVATION
Scale: 1/4" = 1'-0"



19 ELEVATION
Scale: 1/4" = 1'-0"

SECOND FLOOR BRIDAL ROOMS



GROUND FL. MEN'S RM.

GROUND FL. WOMEN'S RM.

CODED NOTES

- F1 EXISTING GYPSUM DRYWALL, PREP SURFACE AND PAINT. SEE "BASIS OF DESIGN" LIST.
- F2 NEW TOILET AND URINAL PARTITIONS. SEE "BASIS OF DESIGN" LIST.
- F3 PREP EXISTING FLOOR SURFACE AND INSTALL NEW FLOOR TILE. SEE "BASIS OF DESIGN" LIST.
- F4 PREP EXISTING WALL SURFACE AND INSTALL NEW WALL TILE AND CHAIR RAIL. SEE ROOM FINISH SCHEDULE, "BASIS OF DESIGN" LIST AND TYP. TILE DETAILS ON THIS SHEET.
- F5 NEW LABORATORY QUARTZ COUNTERTOP WITH NEW VESSEL SINKS AND FAUCETS. SEE LABORATORY COUNTER SECTION, DETAILS AND "BASIS OF DESIGN" LIST ON SHEET A-5.
- F6 MODIFY EXISTING OPENING. INSTALL NEW DOUBLE 2x10 HEADER, PATCH AND MATCH WALL SURFACES AND TRIM WITH 1x6 CASING WITH 1-1/8"x1-1/8" OUTSIDE CORNER MOULDING.
- F7 RE-INSTALL GRAB BARS INCLUDING NEW VERTICAL GRAB BAR. SEE "BASIS OF DESIGN" LIST AND TOILET ACCESSORIES ELEVATIONS BELOW.
- F8 WALL SCONCE 1. SEE "BASIS OF DESIGN" LIST.
- F9 WALL SCONCE 2. SEE "BASIS OF DESIGN" LIST.
- F10 DECORATIVE MIRROR. SEE "BASIS OF DESIGN" LIST.
- F11 FULL LENGTH MIRROR. SEE "BASIS OF DESIGN" LIST.
- F12 BRACKET SUPPORTED COUNTER. SEE "BASIS OF DESIGN" LIST AND DETAILS.
- F13 EXISTING MIRROR TO REMAIN.
- F14 EXISTING MIRROR RELOCATED.
- F15 SINK BASE AND DRAWER BASE CABINETS. SEE DETAILS AND "BASIS OF DESIGN" LIST ON SHEET A-5.
- F16 NEW VANITY LIGHT FIXTURE. SEE "BASIS OF DESIGN" LIST.
- F17 EXISTING BASE AND DOOR TRIM TO REMAIN.
- F18 CLOSET SHELF AND ROD ON SUPPORT BRACKET. SEE "BASIS OF DESIGN" LIST.
- F19 FULL LENGTH MIRROR WITH LED FRAME. SEE "BASIS OF DESIGN" LIST.
- F20 RE-INSTALL EXISTING BASE TRIM RETAINED FROM DEMOLITION.
- F21 ELECTRIC FIREPLACE. SEE "BASIS OF DESIGN" LIST.
- F22 COFFERED CEILING. SEE CEILING PLANS ON SHEET A-3.
- F23 NEW CHANDELIER. SEE "BASIS OF DESIGN" LIST.
- F24 NEW CEILING LIGHT. SEE "BASIS OF DESIGN" LIST.
- F25 ROBE HOOK. SEE "BASIS OF DESIGN" LIST.
- F26 FULL LENGTH MIRROR. SEE "BASIS OF DESIGN" LIST.

BASIS OF DESIGN

THE FOLLOWING IS INTENDED TO BE A LIST OF "BASIS OF DESIGN" MATERIALS AND EQUIPMENT AND NOT A PROPRIETARY SPECIFICATION. SUBSTITUTE OR "OR EQUAL" ITEM OF MATERIAL OR EQUIPMENT MAY BE INCLUDED IN THE BID OR FURNISHED BY THE CONTRACTOR IF ACCEPTABLE TO THE ARCHITECT. CONTRACTOR SHALL SUBMIT SUFFICIENT INFORMATION TO THE ARCHITECT TO ALLOW A DETERMINATION THAT ITEM OF MATERIAL OR EQUIPMENT PROPOSED IS ESSENTIALLY EQUIVALENT TO THAT NAMED AS "BASIS OF DESIGN".

GYPSUM DRYWALL: USG SHEETROCK BRAND 5/8" ECOSMART PANELS MOLD TOUGH FIRECODE X ON WALLS.

WALL PAINT: INTERIOR ACRYLIC LATEX PAINT, SATIN FINISH. SHERWIN WILLIAMS, DURATION HOME INTERIOR LATEX SATIN. COLOR DETERMINED BY OWNER.

TRIM PAINT: INTERIOR ACRYLIC LATEX PAINT, SEMI-GLOSS FINISH. SHERWIN WILLIAMS, DURATION HOME INTERIOR LATEX SEMI-GLOSS. COLOR DETERMINED BY OWNER.

TOILET AND URINAL PARTITIONS: ELITE PLUS 72" PHENOLIC PEDESTAL MOUNTED TOILET AND URINAL PARTITIONS, 9" OFF FINISHED FLOOR WITH MATTE BLACK PEDESTALS AND HARDWARE. 317 FIELD ELM FINISH FLOOR TILE. HAPPY FLOORS COMPANY 12x24 SALT ROCK COLLECTION STONE LOOK FLOOR TILE, ICE/MATTE COLOR. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.

WALL TILE: VIRGINIA TILE COMPANY, HAMMER AQUA 2x6 FIELD TILE GLOSSY. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.

CHAIR RAIL: SOHO STUDIO, 2x12 ALCHIMIA BLUE CHAIR RAIL CERAMIC TILE. AVAILABLE THROUGH FIRENZA STONE, (440) 953-8883.

GRAB BAR: 1-1/2" DIA. 18" LONG STAINLESS STEEL GRAB BAR. BOBRICK B-6806x18. SEE TOILET ACCESSORY SCHEDULE BELOW.

MIRROR: ROSETO KIPP 21"x31" OVAL FRAMED MIRROR. BLACK.

FULL LENGTH MIRROR: WALL SCONCE 1: CANHAM, INC. LAUREL BRUSHED NICKEL 1-LIGHT INDOOR WALL LIGHT. AVAILABLE THROUGH MENARDS.

WALL SCONCE 2: PHOTON LIGHTING DALTON 1-LIGHT INDOOR WALL LIGHT. AVAILABLE THROUGH MENARDS.

VANITY LIGHT FIXTURE: MERIDIAN 4-LIGHT MATTE BLACK VANITY LIGHT. AVAILABLE THROUGH MENARDS.

CLOSER, SHELF AND ROD: EVERBLIT WHITE HEAVY DUTY SHELF BRACKET AND ROD SUPPORT. CLOSET MAD SELECTIVES 4'-0"x14" WHITE LAMINATED WALL MOUNTED SHELF. WOODGRAIN MILLWORK 1-5/16" DIA. VINYL WRAPPED PRE-FINISHED WHITE CLOSET FULL ROUND POLE. ALL AVAILABLE THROUGH HOME DEPOT.

FULL LENGTH LED MIRROR: XRAMFY 20.1"x6.3" LED LIGHT RECTANGULAR WHITE ALUMINUM ALLOY FRAMED ROUNDED FULL LENGTH MIRROR. AVAILABLE THROUGH HOME DEPOT.

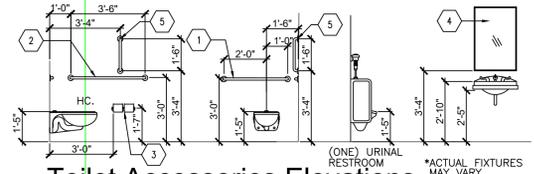
FULL LENGTH MIRROR: AMANTI ART ARTOR 18.88"x52.88" MODERN RECTANGULAR FRAMED BLACK ON THE DOOR MIRROR. AVAILABLE THROUGH HOME DEPOT.

ELECTRIC FIREPLACE: SOUTHERN ENTERPRISES HUNDERA 51" TOUCH PANEL ELECTRIC FIREPLACE IN WHITE WITH WHITE AND GRAY MARBLE. AVAILABLE THROUGH HOME DEPOT.

CHANDELIER: QUOTZEL MIRREN 28" WIDE IMPERIAL BRONZE 6-LIGHT CHANDELIER. (ALTERNATE) UOUFN MODERN ISLAND CHANDELICK CHANDELIER LIGHT DELAHL 24" 5-LIGHT LARGE WHITE MATTE BLACK CHANDELIER WITH CRYSTAL PENDANT DROPS. AVAILABLE THROUGH HOME DEPOT.

CEILING LIGHT: GOLDEN LIGHTING SAMARA 15.375" 2-LIGHT MATTE BLACK SEMI-FLUSH MOUNT. AVAILABLE THROUGH HOME DEPOT.

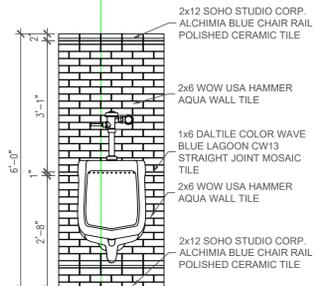
ROBE HOOK: 18" WHITE AND BLACK BEVELED HOOK RAIL. AVAILABLE THROUGH HOME DEPOT.



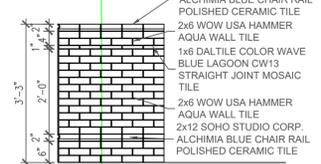
Toilet Accessories Elevations
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE		
1	36" GRAB BAR	EXISTING
2	42" GRAB BAR	EXISTING
3	SURFACE MOUNTED TOILET TISSUE DISPENSER	BOBRICK: B-686
4	MIRROR (SEE "BASIS OF DESIGN" LIST)	
5	18" GRAB BAR	BOBRICK: B-6806x18

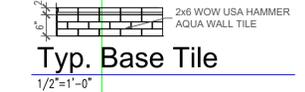
CONTRACTOR VERIFY WITH OWNER MANUFACTURER MODEL NUMBERS FOR ALL ACCESSORIES PRIOR TO ORDERING



Typ. Urinal Wall Tile
1/2" = 1'-0"



Typ. Wall Tile
1/2" = 1'-0"



Typ. Base Tile
1/2" = 1'-0"

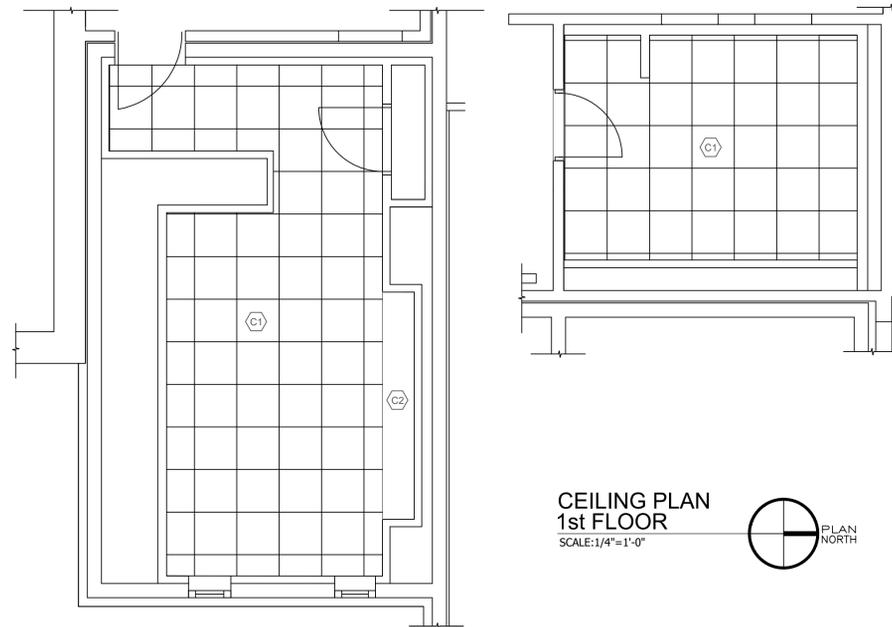
General Notes

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No.	Revision/Issue
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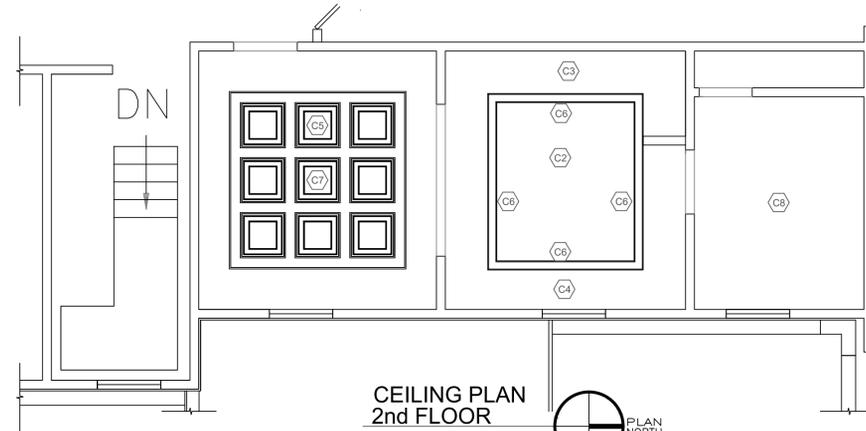
Firm Name and Address
ray b. DelaMotte, Jr. Architect
616 Mentor Ave. Painesville, Ohio 44077
(440) 221-5471 rdelamotte@yahoo.com

Project Name and Address
Proposed Restroom Renovations:
Lake Metroparks
Pine Ridge Country Club
30601 Ridge Rd., Wickliffe, OH 44092

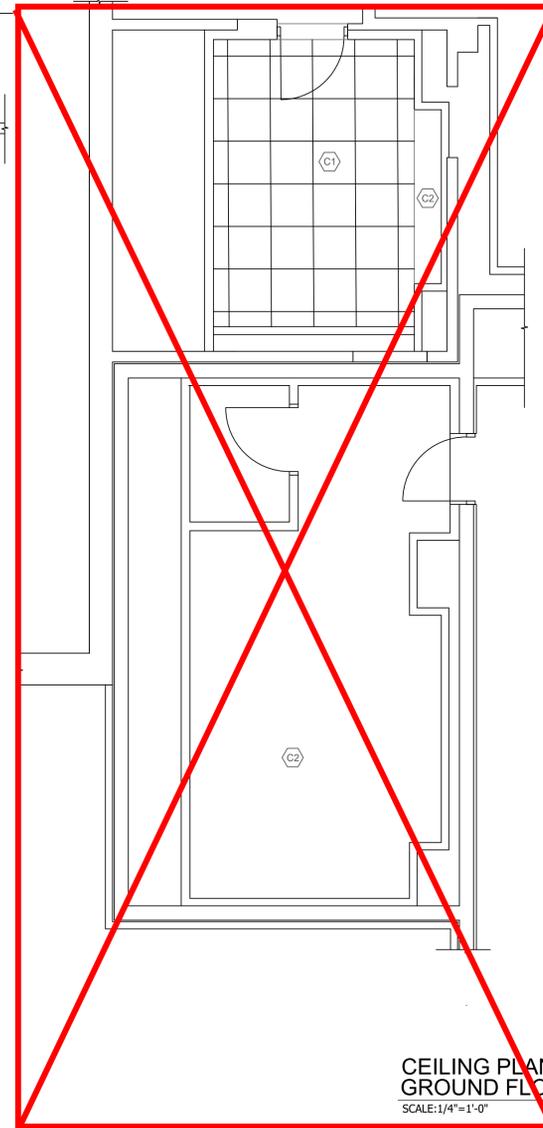
Project	Sheet
202403	
Date	
12/24	
Scale	
Interior Elevations	A4



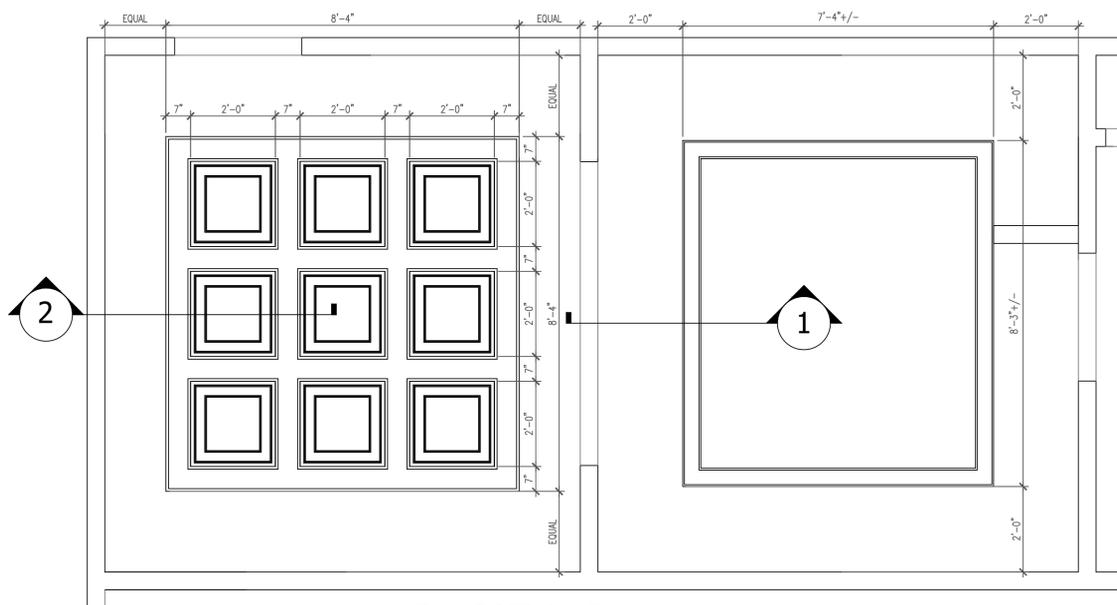
**CEILING PLAN
1st FLOOR**
SCALE: 1/4" = 1'-0"



**CEILING PLAN
2nd FLOOR**
SCALE: 1/4" = 1'-0"



**CEILING PLAN
GROUND FLOOR**
SCALE: 1/4" = 1'-0"



**ENLARGED 2nd FL.
CEILING PLAN**
SCALE: 1/2" = 1'-0"

CODED NOTES

- (C1) REPLACE 2x2 LAY-IN ACOUSTIC TILE CEILING SYSTEM. SEE "BASIS OF DESIGN" LIST. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR NEW CEILING FIXTURES.
- (C2) EXISTING DRYWALL CEILING AND SOFFITS TO REMAIN.
- (C3) INSTALL FIRE RETARDANT WOOD FRAME AND GYP. DRYWALL SOFFIT TO CONCEAL WATER SPRINKLER LINE. SEE DETAIL ON THIS SHEET.
- (C4) INSTALL FIRE RETARDANT WOOD FRAME AND GYP. DRYWALL SOFFIT TO MATCH SOFFIT CONCEALING WATER SPRINKLER LINE. SEE DETAIL ON THIS SHEET.
- (C5) INSTALL COFFERED CEILING. SEE DETAIL ON THIS SHEET.
- (C6) POLYURETHANE CROWN MOULDING.
- (C7) CHANDELIER. SEE "BASIS OF DESIGN" LIST.
- (C8) CEILING LIGHT. SEE "BASIS OF DESIGN" LIST.

BASIS OF DESIGN

THE FOLLOWING IS INTENDED TO BE A LIST OF "BASIS OF DESIGN" MATERIALS AND EQUIPMENT AND NOT A PROPRIETARY SPECIFICATION. SUBSTITUTE OR "OR EQUAL" ITEM OF MATERIAL OR EQUIPMENT MAY BE INCLUDED IN THE BID OR FURNISHED BY THE CONTRACTOR IF ACCEPTABLE TO THE ARCHITECT. CONTRACTOR SHALL SUBMIT SUFFICIENT INFORMATION TO THE ARCHITECT TO ALLOW A DETERMINATION THAT ITEM OF MATERIAL OR EQUIPMENT PROPOSED IS ESSENTIALLY EQUIVALENT TO THAT NAMED AS "BASIS OF DESIGN."

SIMULATED WOOD TRIM: PAINTABLE CELLULAR PVC 1X6 SMOOTH TRIM BOARD. PLY GEM "BUILD READY" TRIM.

SIMULATED WOOD MOULDING: PAINTABLE CELLULAR PVC SMOOTH "PANEL MOULDING". PLY GEM "BUILD READY" MOULDING.

GYPSUM DRYWALL: USG SHEETROCK BRAND 1/2" FIRECODE C PANELS ON CEILINGS AND SOFFITS. USG SHEETROCK BRAND 5/8" GLASS-MAT MOLD TOUGH FIRECODE X PANELS ON WALLS.

WOOD FRAMING: 2x FIRE TREATED INTERIOR FRAMING LUMBER. PYRO-GUARD, HOOVER TREATED WOOD PRODUCTS, INC.

ACOUSTICAL CEILING PANELS: 5/8" THICKNESS, 24"x24" 15/16" BEVELED TEGULAR EDGE "GEORGIAN" PANELS. WHITE. MANUFACTURED BY ARMSTRONG WORLD INDUSTRIES.

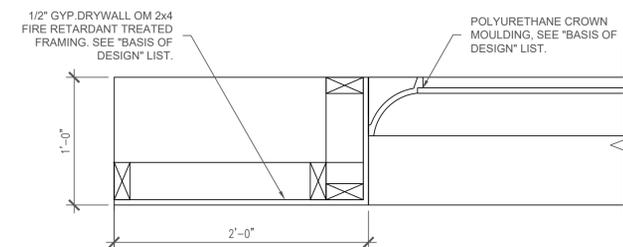
METAL SUSPENSION SYSTEM: WIDE-FACED, CAPPED, DOUBLE WEB STEEL SUSPENSION SYSTEM WITH 15/16" WIDE PAINTED WHITE METAL CAPPED MAIN AND CROSS RUNNERS WITH MANUFACTURERS STANDARD EDGE MOULDINGS. MANUFACTURED BY ARMSTRONG WORLD INDUSTRIES.

CROWN MOULDING: 5-1/8" x 5-1/2" POLYURETHANE DYLAN CROWN MOULDING. ENKENA MILLWORK.

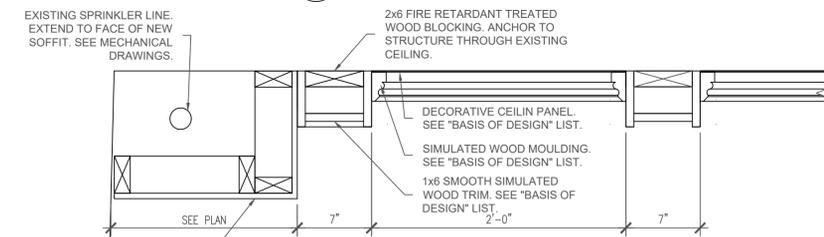
DECORATIVE CEILING PANEL: GENESIS 2'-0"x2'-0" ICON RELIEF WHITE PVC DROP CEILING TILE.

CHANDELIER: QUOZCEL MIRREN 28" WIDE IMPERIAL BRONZE 6-LIGHT CHANDELIER. AVAILABLE THROUGH .

CEILING LIGHT: GOLDEN LIGHTING SAMARA 15.375" 2-LIGHT MATTE BLACK SEMI-FLUSH MOUNT. AVAILABLE THROUGH HOME DEPOT.



1 DETAIL
Scale: 1-1/2" = 1'-0"



2 DETAIL
Scale: 1-1/2" = 1'-0"

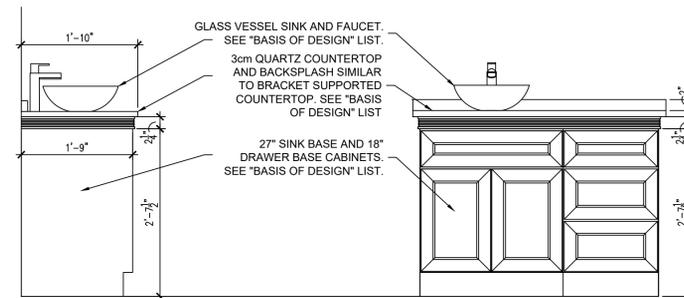
General Notes

Issued For Permits	1/13/25
Issued For Bidding	1/13/25
No.	Revision/Issue
	Date

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ray b. DelaMotte, Jr.
 Architect
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Project 202403	Sheet
Date 12/24	A3
Scale Ceiling Plans	



Base Cabinet Section
3/4"=1'-0"

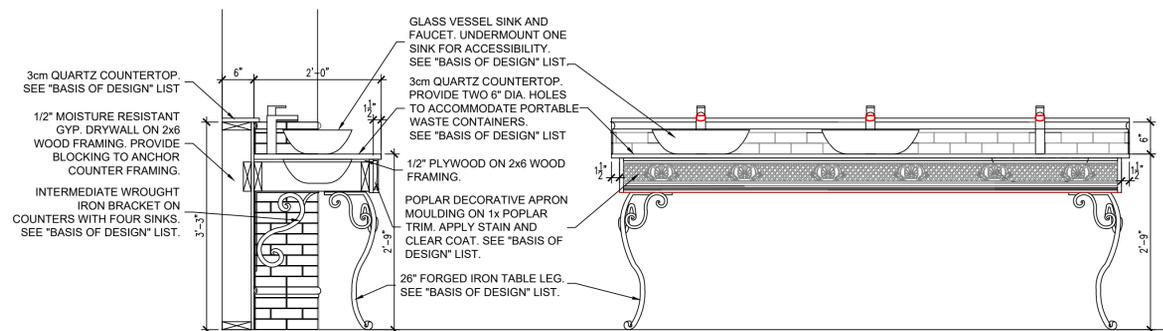
Base Cabinet Elevation
3/4"=1'-0"

BASIS OF DESIGN

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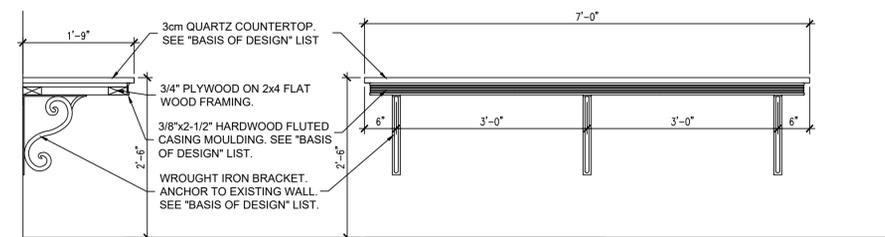
LAVATORY COUNTERTOP: 3cm POLISHED QUARTZ, FS MYSTIQUE
LAVATORY COUNTER APRON MOULDING: WHITE RIVER HARDWOODS, 5-1/2"x13/16" SHELL AND FRET POPLAR DECORATIVE FRIEZE #FR8960, CONTACT (800) 558-0119.
LAVATORY COUNTER FORGED IRON SUPPORT: SINGLE STEM FORGED IRON 2 1/2" LEGS AVAILABLE THROUGH SOUTHWEST COUNTRY (805) 358-4040.
1-1/2"x12"Dx15"H BEDFORD SINGLE WROUGHT IRON BRACKET, AVAILABLE THROUGH EKENA MILLWORK, (888) 607-0453.
LAVATORY COUNTER VESSEL SINK: RECTANGULAR TURQUOISE BLUE FOIL GLASS VESSEL SINK, EDEN BATH EB6567.
LAVATORY COUNTER FAUCET: VIGO AMADA SINGLE HANDLE SINGLE - HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK, AVAILABLE THROUGH HOME DEPOT.
BRACKET SUPPORTED COUNTERTOP: 3cm POLISHED QUARTZ, FS MYSTIQUE
BRACKET SUPPORTED COUNTER MOULDING: 3/8"x2-1/2" HARDWOOD FLUTED CASING MOULDING, AVAILABLE THROUGH HOME DEPOT.
COUNTER WROUGHT IRON SUPPORT: 1-1/2"x12"Dx15"H BEDFORD SINGLE WROUGHT IRON BRACKET, AVAILABLE THROUGH EKENA MILLWORK, (888) 607-0453.
CABINET COUNTER VESSEL SINK: CLEAR FREEFORM WAVES GLASS VESSEL SINK, EDEN BATH EB6542.
CABINET COUNTER FAUCET: VIGO AMADA SINGLE HANDLE SINGLE - HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK, AVAILABLE THROUGH HOME DEPOT.
VANITY SINK BASE CABINET: KRAFT MAID, R. CORNELL VSB 272131.
VANITY DRAWER BASE CABINET: KRAFT MAID, R. CORNELL VBD 182131.3.
CABINET COUNTERTOP: SIMILAR TO BRACKET SUPPORTED COUNTER WITH QUARTZ COUNTERTOP, WOOD FRAMING AND FLUTED HARDWOOD CASING MOULDING.

NOTE: CABINET AS SHOWN IS LOCATED IN BRIDAL ROOM 2. CABINET LOCATED IN BRIDAL ROOM 1 IS MIRROR IMAGE.



Lavatory Counter Section
3/4"=1'-0"

Typical Lavatory Counter Elevation
3/4"=1'-0"



Bracket Supported Counter Section
3/4"=1'-0"

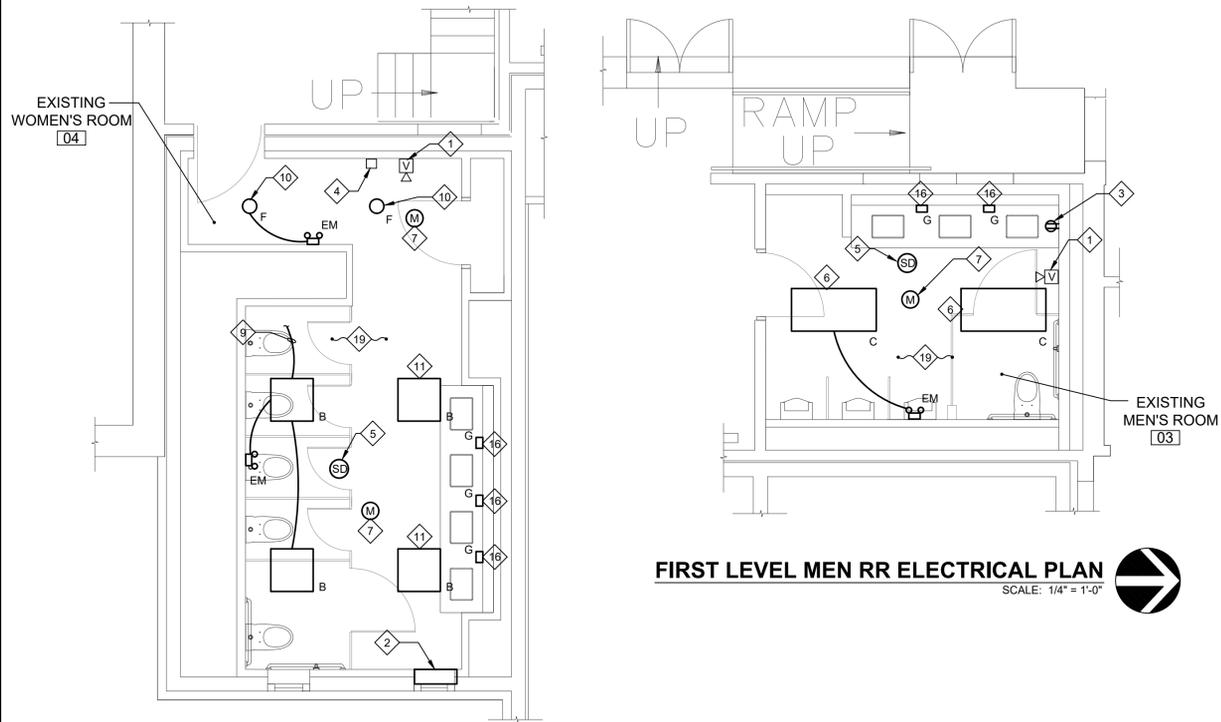
Bracket supported Counter Elevation
3/4"=1'-0"

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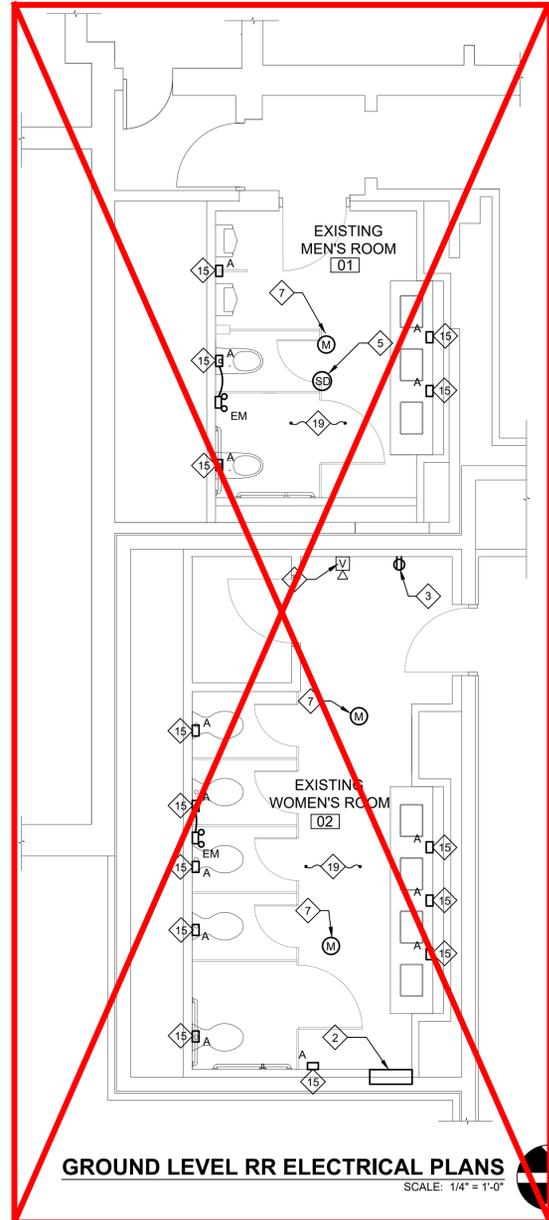
Project 202403	Sheet
Date 12/24	A5
Scale Details	



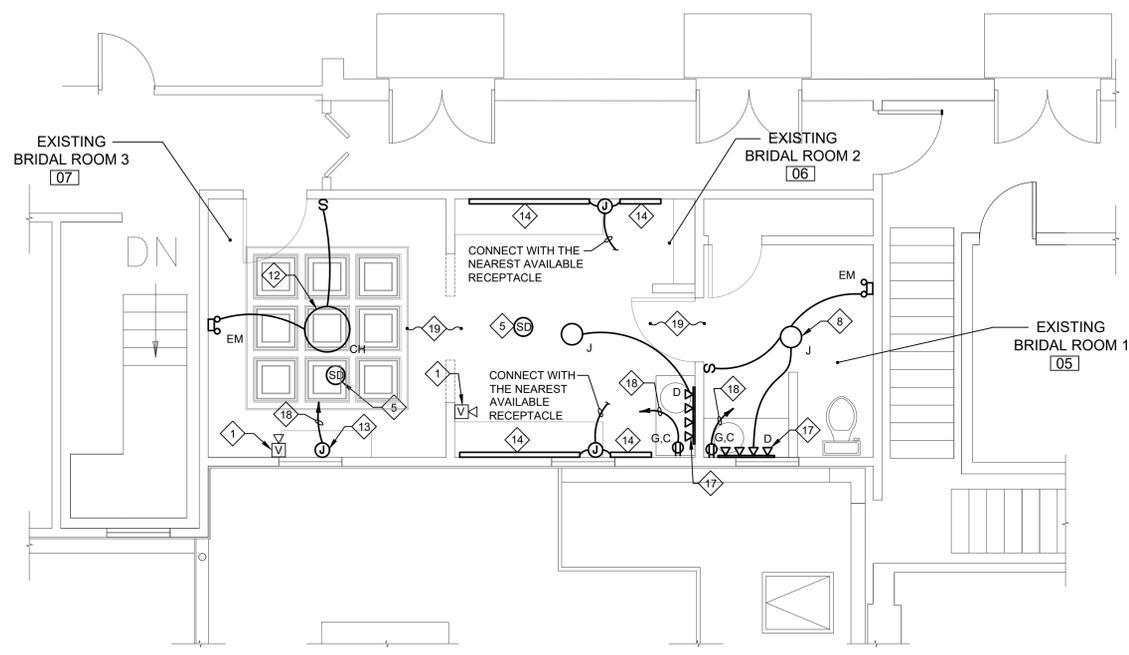
FIRST LEVEL MEN RR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



FIRST LEVEL WOMEN RR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



GROUND LEVEL RR ELECTRICAL PLANS
SCALE: 1/4" = 1'-0"



SECOND LEVEL WOMEN RR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELEC. GENERAL NOTES

- A. THE ELECTRICAL INSTALLATION MUST MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ANY APPLICABLE STATE OR LOCAL CODES, AS INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- B. CONFIRM THE CEILING TYPES IN ALL AREAS WITH THE GENERAL TRADES CONTRACTOR OR WITH THE EXISTING BUILDING CEILING CONDITIONS, AND FURNISH THE PROPER LIGHT FIXTURE TRIMS AND SUPPORTS TO SUIT EACH CEILING TYPE.
- C. ALL LIGHTING FIXTURE LOCATIONS INDICATED ON THIS DRAWING SHALL BE SUPERSEDED BY THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE AREA. ELECTRICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF LIGHT FIXTURES.
- D. ALL WALL MOUNTED LIGHTING FIXTURE LOCATIONS INDICATED ON THIS DRAWING SHALL HAVE THE MOUNTING HEIGHTS VERIFIED WITH THE ARCHITECT BEFORE ROUGH-IN.
- E. BRANCH CIRCUIT WIRING FOR EMERGENCY LIGHTING BATTERY PACKS AND EXIT LIGHTS SHALL BE INSTALLED AND CONNECTED IN ACCORDANCE WITH ARTICLE 700 OF THE NATIONAL ELECTRICAL CODE.
- F. THIS CONTRACTOR SHALL COORDINATE INSTALLATION OF AND MOUNTING OF ALL DUPLEX RECEPTACLES, WITH ROOM ELEVATIONS AND ALL MILLWORK DRAWINGS BEFORE ROUGH-IN.
- G. ALL EXISTING UNUSED ELECTRICAL WIRE, CONDUIT, AND EQUIPMENT SHALL BE REMOVED.
- H. OPEN WIRE AND OPEN CABLES INSTALLED WITHIN THE RETURN AIR CEILING SPACE SHALL BE PLENUM RATED LETTER CODE 'P'.
- I. ALL WIRE FOR POWER, LIGHTING, AND CONTROL SYSTEMS SHALL BE 600 VOLT THHN-THWN, 90 DEGREE INSULATED AND SHALL BE COPPER. ALL WIRE FOR COMMUNICATIONS SYSTEMS SHALL BE COPPER.
- J. FIRE SEAL OPENINGS AROUND ALL CONDUIT PENETRATIONS, PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SEALED WITH LISTED FIRE RATED MATERIALS.
- K. ALL HOMERUN WIRING SHALL BE RUN IN EMT THIN-WALL THREADLESS CONDUIT. TYPE MC CABLE MAY BE INSTALLED CONCEALED WITHIN WALL AND CEILING SPACES FOR BRANCH CIRCUIT WIRING.
- L. PANEL DIRECTORIES ARE REQUIRED TO BE UPDATED BY THE ELECTRICAL CONTRACTOR PRIOR TO OBTAINING FINAL OCCUPANCY.

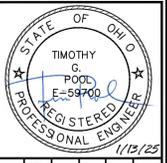
PLAN NOTES

1. MAINTAIN EXISTING FIRE ALARM DEVICE.
2. MAINTAIN EXISTING HEATER.
3. REPLACE EXISTING RECEPTACLE WITH NEW AND RECONNECT TO EXISTING BRANCH CIRCUIT.
4. MAINTAIN EXISTING HANDICAP PUSH BUTTON.
5. REPLACE EXISTING SMOKE DETECTOR WITH NEW.
6. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'C' AND RECONNECT TO THE EXISTING BRANCH CIRCUIT AND NEW CEILING MOTION SENSOR FOR CONTROL.
7. INSTALL NEW CEILING MOTION SENSOR FOR CONTROL.
8. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'J' AND CONNECT TO EXISTING LIGHTING CIRCUIT.
9. CONNECT TO EXISTING LIGHTING CIRCUIT IN THE RESTROOM.
10. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'F' AND RECONNECT TO THE EXISTING BRANCH CIRCUIT AND NEW CEILING MOTION SENSOR FOR CONTROL.
11. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'B' AND RECONNECT TO THE EXISTING BRANCH CIRCUIT AND NEW CEILING MOTION SENSOR FOR CONTROL.
12. REPLACE EXISTING CHANDELIER WITH NEW CHANDELIER TYPE 'CH' AND RECONNECT TO EXISTING LIGHTING BRANCH CIRCUIT.
13. ELECTRIC FIRE PLACE - 120V, 1.5KW. WIRE TO 120V 20A DEDICATED CIRCUIT BREAKER INDICATED.
14. WALL FRAMELESS MIRROR - 120V.
15. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'A' AND CONNECT TO EXISTING LIGHTING CIRCUIT.
16. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'G' AND CONNECT TO EXISTING LIGHTING CIRCUIT.
17. REPLACE EXISTING LIGHT WITH NEW LIGHT TYPE 'D' AND CONNECT TO EXISTING LIGHTING CIRCUIT.
18. CONNECT TO DEDICATED 120V, 20A CIRCUIT BREAKER IN NEAREST AVAILABLE PANEL.
19. EC SHALL VERIFY THE LOAD ON THE EXISTING LIGHTING CIRCUIT AND MAKE SURE THAT THE LOAD OF THE CIRCUIT DOES NOT EXCEED 16A WITH ALL LIGHTS BEING ADDED / REPLACED.

ELECTRICAL SYMBOLS

- 3,5 A: BRANCH CIRCUIT HOMERUN TO PANEL "A", CIRCUIT #3 AND #5. PROVIDE THE PROPER QUANTITY OF 12 AWG CONDUCTORS FOR THE CIRCUIT(S) INDICATED. A SEPARATE GROUNDING CONDUCTOR IS REQUIRED FOR ALL BRANCH CIRCUITS.
- HEAVY LINE WEIGHT INDICATES THIS EQUIPMENT IS NEW OR RELOCATED EXISTING UNLESS NOTED OTHERWISE
- LIGHT LINE WEIGHT INDICATES THIS EQUIPMENT IS EXISTING TO REMAIN, UNLESS NOTED OTHERWISE
- S: SINGLE POLE SWITCH - MOUNTING AT 48" A.F.F.
- S³: THREE-WAY SWITCH - MOUNTING AT 48" A.F.F.
- S^D: DIMMER SWITCH - MOUNTING AT 48" A.F.F. - REFER TO PLANS FOR TYPES AND RATINGS
- M: OCCUPANCY SENSOR SWITCH WITH OVERRIDE SWITCH - WALL MOUNTED AT 48" A.F.F. OR AS NOTED
- M^C: OCCUPANCY SENSOR SWITCH - CEILING MOUNTED. PROVIDE ONE POWER PACK PER ZONE TO BE CONTROLLED. POWER PACKS ARE NOT SHOWN ON PLANS
- A: LIGHT FIXTURE TYPE 'A'
- B: LIGHT FIXTURE TYPE 'B'
- EB: EMERGENCY BATTERY PACK, WALL MOUNTED
- Φ 48": DUPLEX RECEPTACLE - INDICATES MOUNTING AT 48" A.F.F.
- Φ C: DUPLEX RECEPTACLE - MOUNTING AT 6" ABOVE COUNTER
- Φ G: DUPLEX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE
- Panelboard: PANELBOARD - 0 TO 150 VOLTS TO GROUND
- FA: FIRE ALARM VISUAL STROBE LIGHT - MOUNTED AT 80" A.F.F.
- SD: FIRE ALARM SMOKE DETECTOR, CEILING MOUNTED
- 4: PLAN NOTE TAG, REFER TO PLANS FOR DESCRIPTION
- A.F.F.: ABOVE FINISHED FLOOR

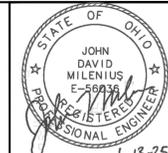
LUMINAIRE SCHEDULE								
TYPE	LUMINAIRE WATTS	VOLTS	LAMP TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	CATALOG NUMBER	REMARKS
A	100	120	LED	WALL SCONCE WITH BRUSHED NICKEL FINISH	WALL / SURFACE	CANARM LIGHTING	IVL238B01BN	
B	24	120	LED 3500K 2900 LUMENS	2X2 BACK-LIT TROFFER WITH SWITCHABLE LUMENS	RECESSED	COLUMBIA	CBT22-LS35	
C	28	120	LED 3500K 3300 LUMENS	2X4 BACK-LIT TROFFER WITH SWITCHABLE LUMENS	RECESSED	COLUMBIA	CBT24-LS35	
D	240	120	LED	4-LIGHT VANITY LIGHT WITH MATTE BLACK FINISH	WALL	MERIDIAN 4-LIGHT	M80076MBK	
F	25	120	LED 3500K 2100 LUMENS	6" CAN LIGHT DIRECT INSTALL WITH WHITE FINISH	RECESSED	PRESCOLITE	LBRP-M-LS-ML-35K9-LBRP-6RD-T-WC	
G	60	120	LED	WALL SCONCE WITH BRONZE FINISH	WALL / SURFACE	PHOTON LIGHTING	16481WBUS	
CH	60	120	LED	DECORATIVE CHANDELIER WITH BRONZE FINISH	PENDANT	LAMPS PLUS	3F671	
J	60	120	LED	FLUSH MOUNTED LIGHT WITH BLACK FINISH	FLUSH	GOLDEN LIGHTING	1140-SF BLK-HWG	
EM	2	120	LED	EMERGENCY LIGHT WITH WHITE HOUSING FINISH	WALL / SURFACE	DUAL LITE	EZ-2L-EZ-EV/WPC	1



BY: JDM
DATE: 01/19/2025
DESCRIPTION: FOP PERMIT / BID
REV. NO.:
33851 Curtis Blvd., 216 Eastlake, Ohio 44095
F 440.953.8760 F 440.953.1289 www.tecinc.com
cleveland | columbus | pittsburgh
tec inc. engineering & design

LAKE METROPARKS PINE RIDGE COUNTRY CLUB RESTROOMS RENOVATIONS
30601 RIDGE RD, WICKLIFFE, OH 44092

RESTROOMS ELECTRICAL PLANS, SYMBOL LEGEND, NOTES AND SCHEDULES
DATE: 12/01/2024
DESIGNED: JJ
APPROVED: JDM
TEC PROJECT: 24232
SHEET NO.



13-25

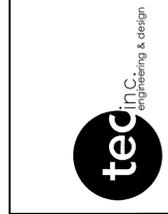
BY	JDM
DATE	01/19/2025

DESCRIPTION	FOP PERMIT / BID
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REV. NO.	
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Cleveland | Columbus | Pittsburgh



LAKE METROPARKS PINE RIDGE
 COUNTRY CLUB
 RESTROOMS RENOVATIONS
 30601 RIDGE RD,
 WICKLIFFE, OH 44092

RESTROOMS PLUMBING
 PLANS

DATE: 12/01/2024

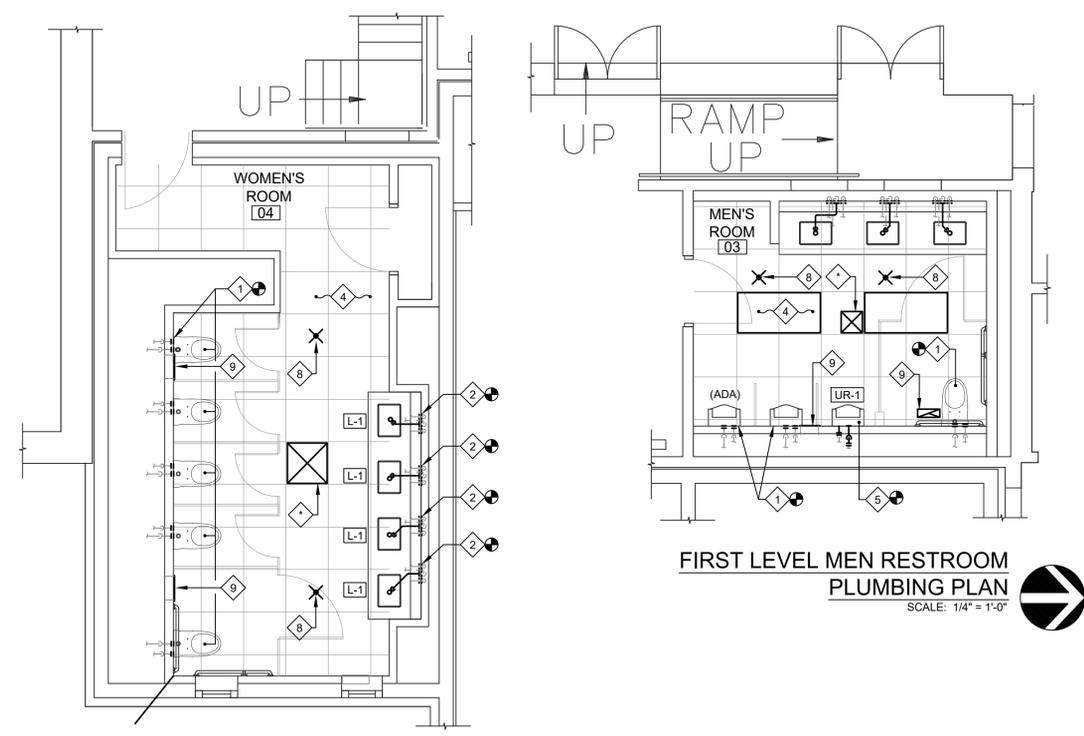
DESIGNED: JJ

APPROVED: JDM

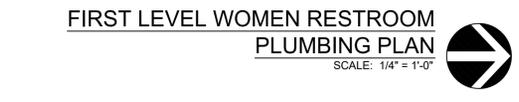
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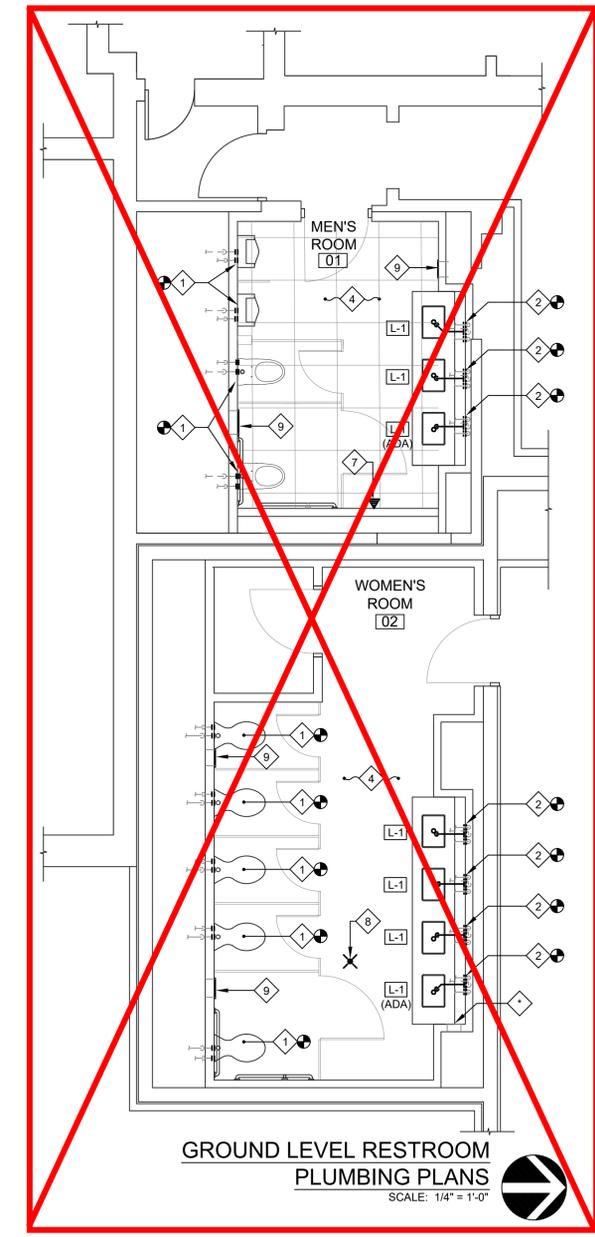
P-1



FIRST LEVEL MEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"



FIRST LEVEL WOMEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"



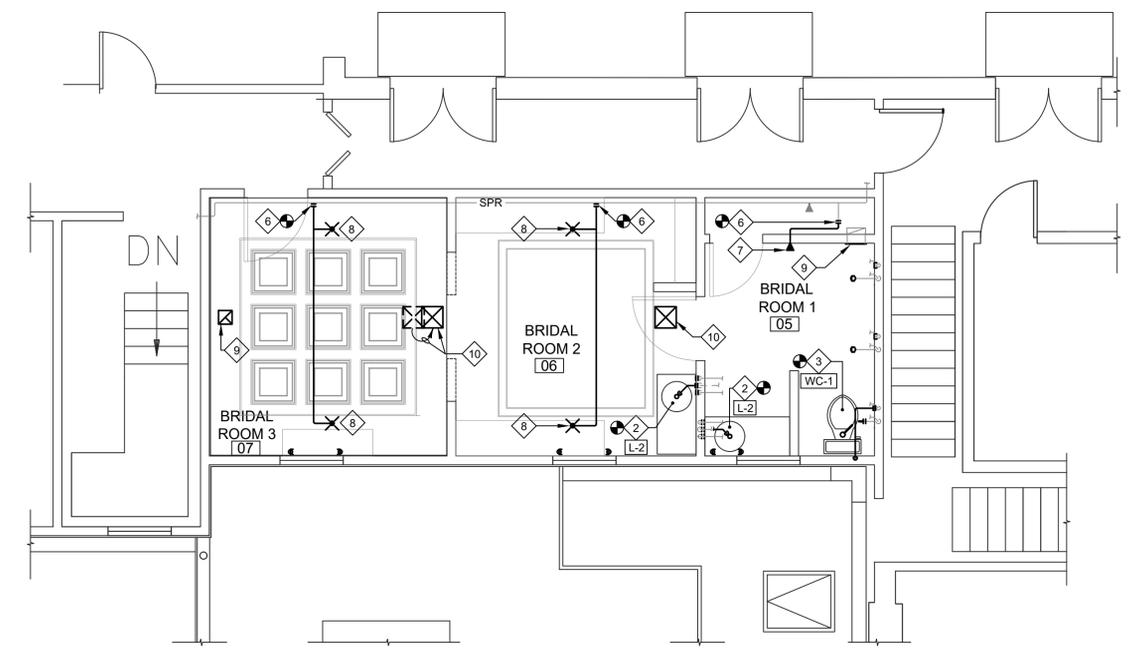
GROUND LEVEL RESTROOM
 PLUMBING PLANS
 SCALE: 1/4" = 1'-0"

PIPING MATERIAL

- A. SANITARY SEWER AND VENT BURIED: SERVICE WEIGHT CAST IRON, TYPE DWV COPPER TUBE, ABS TYPE DWV, SOLID WALL PVC TYPE DWV.
- B. SANITARY SEWER AND VENT ABOVE GRADE: SERVICE WEIGHT CAST IRON, TYPE DWV COPPER TUBE, ABS TYPE DWV, PVC TYPE DWV. DO NOT USE PVC OR ABS PIPING IN RETURN AIR PLENUMS.
- C. DOMESTIC WATER ABOVE GRADE: TYPE L COPPER TUBE, HARD DRAWN, SOLDERED JOINTS WITH 95-5 SOLDER, OR COPPER PRESS FITTINGS CONFORMING TO ASME B16.18 CAST COPPER ALLOY OR ASME B16.22, WROUGHT COPPER AND BRONZE WITH EPDM O-RING SEALS. COMPRESSION TYPE JOINTS MADE WITH MANUFACTURER'S TOOL.
- D. DOMESTIC WATER ABOVE GRADE, 2 INCH AND SMALLER: CROSS-LINKED POLYETHYLENE (PEX-B) TUBE, SILANE OR MOISTURE CURE MANUFACTURING PROCESS, ASTM F876, AND ASTM F2023, RATED FOR 100 PSI AT 180 DEGREES F., MAXIMUM EXPOSURE OF SIX MONTHS, RATED FOR END USE CONDITION OF 100 PERCENT AT 140 DEGREES F., AND APPROVED FOR CONTINUOUS DOMESTIC HOT WATER CIRCULATION SYSTEMS USE. JOINTS POLYMER BODY WITH COMPRESSION TYPE FITTINGS MADE WITH MANUFACTURERS TOOL.

PLAN NOTES

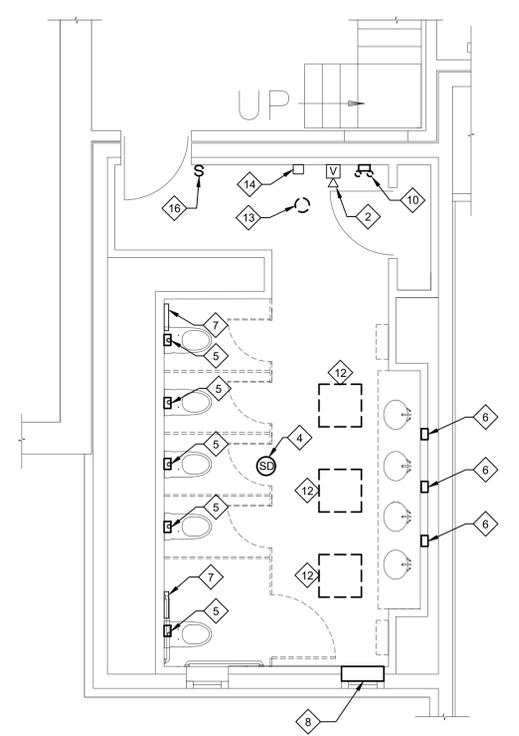
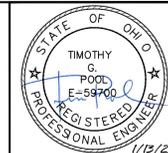
1. INSTALL WATER CLOSET/ URINAL AND FLUSH VALVE PREVIOUSLY REMOVED IN EXISTING LOCATION. PROVIDE NEW NIPPLES, SLEEVES, AND HARDWARE.
2. CONNECT INTO EXISTING SERVICES FOR NEW LAVATORY. MODIFY EXISTING ROUGH-IN AS NECESSARY FOR COMPLETE FIXTURE INSTALLATION.
3. CONNECT INTO EXISTING SERVICES FOR NEW WATER CLOSET. PROVIDE NEW WAX RING. PROVIDE 1/2" COLD WATER DOWN IN WALL TO FIXTURE.
4. ADJUST EXISTING FLOOR DRAIN HEIGHT TO BE FLUSH WITH NEW TILE.
5. CONNECT NEW 2" SANITARY, 1-1/2 VENT, AND 3/4" COLD WATER PIPING TO EXISTING FOR SERVE NEW URINAL..
6. CONNECT TO EXISTING PIPE SIZE AND EXTEND SCHEDULE 40 BLACK STEEL PIPING TO NEW LOCATION OF SIDEWALL TYPE OR PENDANT TYPE SPRINKLER HEAD.
7. PROVIDE QUICK-RESPONSE HORIZONTAL RECESSED CHROME SIDEWALL SPRINKLER HEAD AND FINISH WITH MATCHING ESCUTCHEON.
8. PROVIDE SUSPENDED CEILING TYPE: RECESSED CHROME PENDANT TYPE WITH CHROME FINISH AND MATCHING ESCUTCHEON.
9. PROVIDE NEW GRILLE. MATCH EXISTING TYPE AND SIZE.
10. CONNECT TO EXISTING AND PROVIDE NEW SUPPLY AIR DIFFUSER. MATCHING EXISTING TYPE AND SIZE. RE-BALANCE TO 150 CFM.



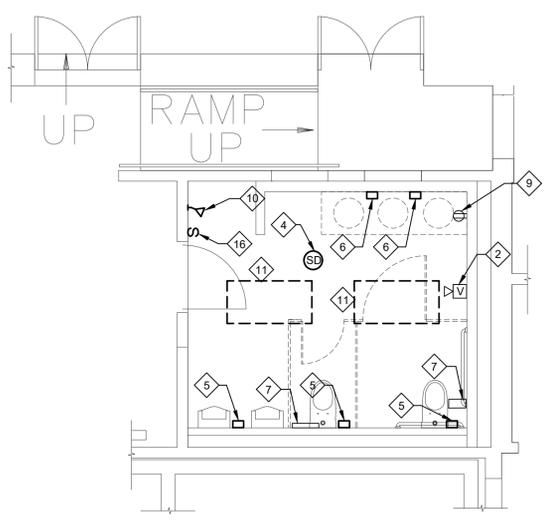
SECOND LEVEL WOMEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE AND EQUIPMENT SCHEDULE

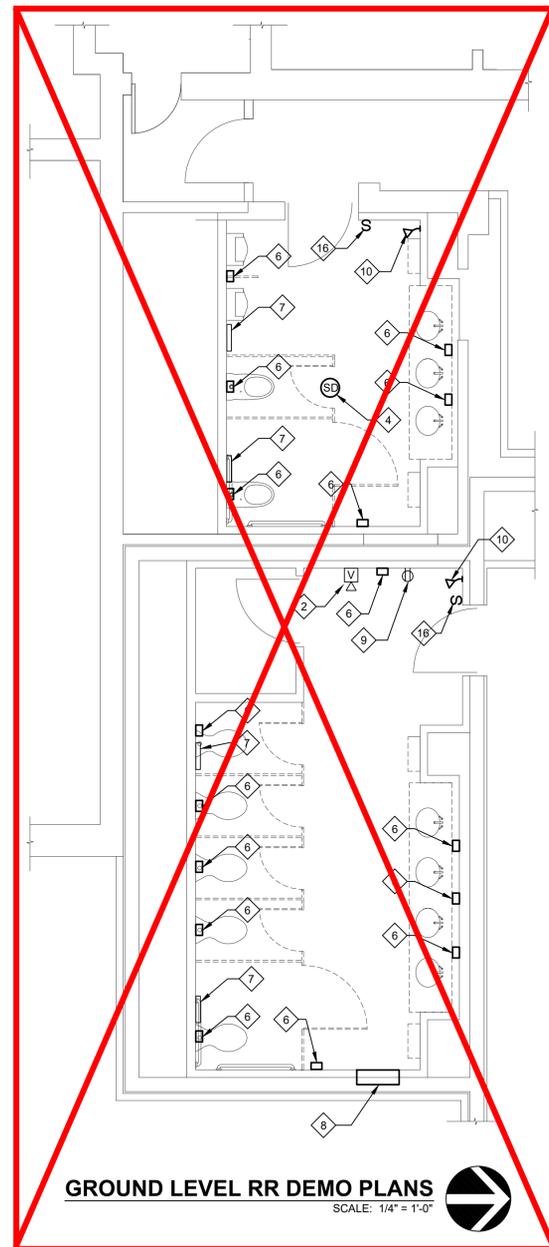
TAG	FIXTURE DESCRIPTION
WC-1 (ADA)	FIXTURE: FLOOR MOUNTED TANK TYPE, WHITE VITREOUS CHINA, ELONGATED BOWL, SIPHON JET ACTION, 1.6 GALLONS PER FLUSH, 16-1/2 INCH BOWL HEIGHT. AMERICAN STANDARD CADET 3 RIGHT HEIGHT 270AA.001 OR APPROVED EQUAL. SEAT: WHITE, HEAVY DUTY COMMERCIAL GRADE, OPEN FRONT, SELF-SUSTAINING CHECK HINGES WITH STAINLESS STEEL POSTS BY CHURCH MODEL 9500C OR APPROVED EQUAL. ROUGH-IN DIMENSION: 12 INCH SUPPLIES: PROVIDE CHROME PLATED RIGID SUPPLY WITH LOOSE KEY STOP, REDUCERS AND ESCUTCHEONS. PROVIDE FLUSH CONTROL LEVER ON WIDE SIDE OF TOILET (AWAY FROM WALL)
UR-1	FIXTURE: AMERICAN STANDARD 6590.001 "WASHBROOK", WALL HUNG, SIPHON-JET ACTION, WHITE VITREOUS CHINA, 3/4 INCH TOP SPUD AND WALL HANGER, 1.0 GPF FLUSH VALVE, ZURN EXPOSED URINAL 3/4 INCH TOP SPUD SENSOR OPERATED BATTERY POWERED FLUSHOMETER MODEL ZER6003AV-CPM, 1.0 GPF, HARDWIRED URINAL FLUSHOMETER. CARRIER: STEEL UPRIGHTS WITH SUPPORT PLATES, BEARING STUDS AND BLOCK FEET FOR ANCHORING TO FLOOR CONSTRUCTION. WADE W-400 OR SIMILAR BY ZURN OR SMITH.
L-1	FIXTURE: EDEN BATH MODEL NO. EB-GS67 RECTANGULAR TURQUOISE BLUE FOIL GLASS VESSEL SINK. FAUCET: VIGO AMADA SINGLE HANDLE, SINGLE-HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK FINISH. SUPPLIES: FURNISH CHROME PLATED RIGID OR FLEXIBLE SUPPLIES, REDUCERS, AND ESCUTCHEONS. INSULATED FOR ADA COMPLIANCE. DRAIN: VIGO BATHROOM SINK 1.5 INCH GRID DRAIN IN MATTE BLACK FINISH. TRAP: CHROME PLATED CAST BRASS ADJUSTABLE "P" TRAP WITH CLEANOUT AND 17 GAUGE WASTE TO WALL WITH ESCUTCHEON. INSULATED TO MEET ADA COMPLIANCE. PROVIDE PLUMBREX MODEL X4114 TRAP COVER AND MODEL X4333 PRO EXTREME TRAP WRAP OR EQUAL.
L-2	FIXTURE: EDEN BATH MODEL NO. EB-GS42 14 INCH ROUND FREEFORM WAVE GLASS VESSEL SINK. FAUCET: VIGO AMADA SINGLE HANDLE, SINGLE-HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK FINISH. SUPPLIES: FURNISH CHROME PLATED RIGID OR FLEXIBLE SUPPLIES, REDUCERS, AND ESCUTCHEONS. INSULATED FOR ADA COMPLIANCE. DRAIN: VIGO BATHROOM SINK POP-UP DRAIN WITH OVERFLOW IN MATTE BLACK FINISH. TRAP: CHROME PLATED CAST BRASS ADJUSTABLE "P" TRAP WITH CLEANOUT AND 17 GAUGE WASTE TO WALL WITH ESCUTCHEON. INSULATED TO MEET ADA COMPLIANCE. PROVIDE PLUMBREX MODEL X4114 TRAP COVER AND MODEL X4333 PRO EXTREME TRAP WRAP OR EQUAL.
—	WATER HAMMER ARRESTORS PERMANENTLY SEALED BELLWS OR EXPANDING CHAMBER TYPE DEVICE FOR CONTROL OF WATER HAMMER, P.D.I.APPROVED, SMITH HYDROTROL OR SIMILAR BY JOSAM, MIFAB, WADE, OR ZURN. SIZE PER PDI STANDARD - WH 201 TABLE 5
—	POINT OF USE THERMOSTATIC MIXING VALVE WATER TEMPERATURE REGULATING VALVE, LEAD FREE BRONZE BODY, THREADED CONNECTIONS, LOW TEMPERATURE, DUAL ACTION, INTERCHANGEABLE THERMOSTAT, INTEGRAL FILTER WASHERS AND CHECK VALVES, ASSE: 1070 LISTED, ADJUSTABLE FROM 80 DEGREES F TO 120 DEGREES F WITH LOCKING FEATURE. SET OUTLET TEMPERATURE AT 110 DEGREES F, MAXIMUM PRESSURE 150 PSI, WATTS SERIES LFUSG-B OR AS APPROVED.



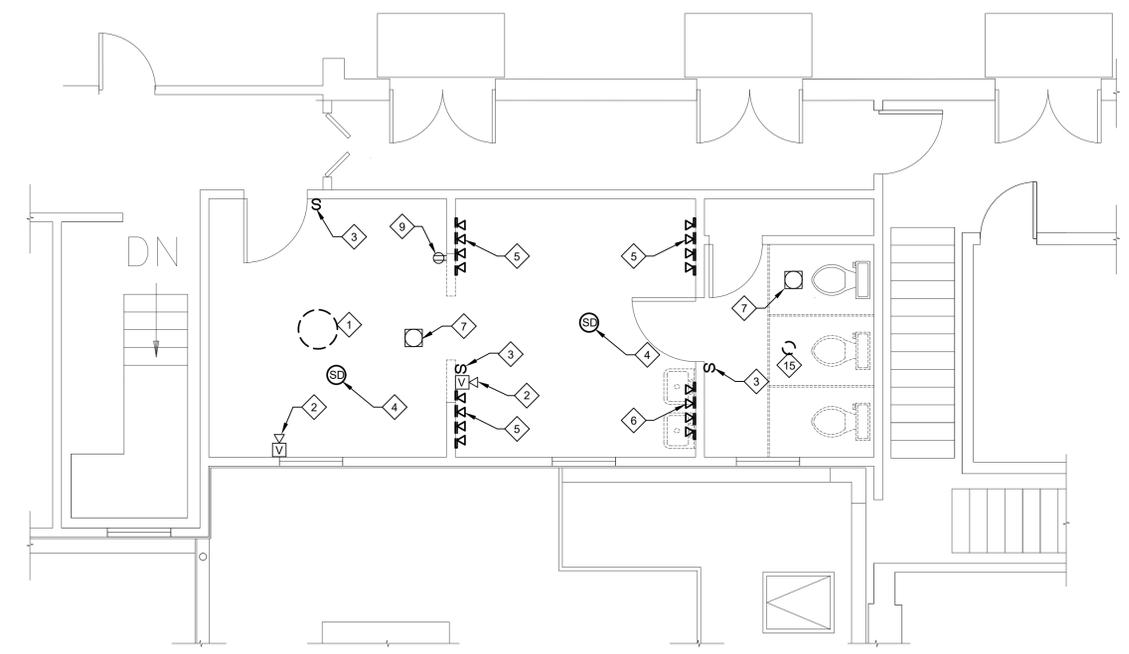
FIRST LEVEL WOMEN RR DEMO PLAN
SCALE: 1/4" = 1'-0"



FIRST LEVEL MEN RR DEMO PLAN
SCALE: 1/4" = 1'-0"



GROUND LEVEL RR DEMO PLANS
SCALE: 1/4" = 1'-0"



SECOND LEVEL WOMEN RR DEMO PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL DEMOLITION NOTES

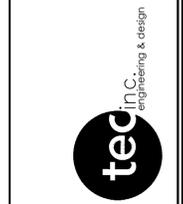
- A. DEMOLITION INDICATED ON THE CONTRACT DOCUMENTS IS SHOWN IN GENERAL TO INDICATE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS. ACCORDINGLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE DEMOLITION OF THE ELECTRICAL WORK INDICATED INCLUDING ANY CONCEALED ITEMS OR ANY EXISTING ITEMS NOT SHOWN ON THE CONTRACT DOCUMENTS. BEFORE DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE FIELD-TESTING TO DETERMINE THE NATURE OF THE EXISTING ELECTRICAL WORK TO BE DEMOLISHED TO PROTECT EXISTING WORK REMAINING IN PLACE AND TO PROTECT THE PUBLIC.
- B. REPAIR AND RESTORE TO ORIGINAL SOUND CONDITION ALL ITEMS OR PORTIONS OF ELECTRICAL WORK, WHICH ARE NOT NOTED TO BE DEMOLISHED, BUT ARE DAMAGED BY WORK UNDER THIS CONTRACT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND RETAIN POWER TO ALL EXISTING EQUIPMENT THAT SHALL REMAIN. RECONNECT ANY EQUIPMENT BEING DISTURBED BY THIS RENOVATION, YET REQUIRED FOR CONTINUED SERVICE TO SAME OR NEAREST AVAILABLE PANEL.
- C. WHERE WORK BY THE GENERAL CONTRACTOR (WALL REMOVAL, NEW OR RELOCATED WALL OPENING, ETC.) RESULTS IN THE REMOVAL, RELOCATION, OR REFEEDING OF ELECTRICAL DEVICES OR LUMINARIES, THE ELECTRICAL CONTRACTOR SHALL DISCONNECT OR RECONNECT ALL ACTIVE DEVICES REMAINING ON THAT CIRCUIT SYSTEM.
- D. CONTRACTOR SHALL VERIFY ALL CIRCUITS IN EXISTING PANEL AFFECTED BY THIS ALTERATION. WHERE ADDITIONAL CIRCUITS ARE NEEDED, USE AVAILABLE SPARE BREAKERS IN THE PANEL AND TIGHTEN ALL CONNECTIONS.
- E. DO NOT PROCEED WITH DEMOLITION WITHOUT WRITTEN AUTHORITY. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER AND COORDINATE WITH ALL TRADES INVOLVED. COORDINATE AND SEQUENCE DEMOLITION SO AS NOT TO CAUSE A SHUTDOWN OF OPERATION OF SURROUNDING AREAS.
- F. DISCONNECT OR SHUT OFF SERVICE TO AREAS WHERE ELECTRICAL WORK IS TO BE REMOVED. REMOVE ALL ELECTRICAL LUMINARIES, EQUIPMENT, AND RELATED SWITCHES, OUTLETS, CONDUIT, AND WIRING, WHICH ARE NOT A PART OF THE FINAL PROJECT IN ALL AREAS WHERE WORK OF THIS CONTRACT IS TO BE PERFORMED. ALL REMOVED EQUIPMENT SHALL BE DISPOSED OF BY THIS CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE. ABANDONED CONDUIT SHALL BE REMOVED, ALONG WITH WIRE NO LONGER IN USE FROM DEVICE LOCATION BACK TO PANEL.
- G. ARRANGE TIMING OF SHUTDOWN PERIODS OF ALL IN-SERVICE PANELS WITH THE OWNER'S REPRESENTATIVE. DO NOT SHUTDOWN ANY SERVICE WITHOUT PRIOR WRITTEN APPROVAL.
- H. DISPOSAL OF LAMPS, BALLASTS, BATTERIES, ETC., SHALL BE IN ACCORDANCE WITH APPLICABLE EPA REQUIREMENTS.
- I. WHERE EXISTING CIRCUITS ARE INDICATED TO BE REUSED, THE CONTRACTOR SHALL USE SENSING MEASURING DEVICES TO VERIFY THAT CIRCUITS FEEDING OTHER LOADS NOT WITHIN PROJECT AREA ARE NOT OVERLOADED.
- J. ELECTRICAL CONTRACTOR SHALL COMPLETELY REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND/OR DEVICES IN THE SPACE AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.

PLAN NOTES

- 1. REMOVE EXISTING CHANDELIER - MAINTAIN BRANCH CIRCUIT.
- 2. MAINTAIN EXISTING FIRE ALARM DEVICE.
- 3. REPLACE EXISTING LIGHTING SWITCH WITH NEW.
- 4. EXISTING SMOKE DETECTOR TO BE REPLACED WITH NEW.
- 5. REMOVE EXISTING WALL SCONCE FIXTURE AND ASSOCIATED WIRING BRANCH CIRCUIT.
- 6. REMOVE EXISTING WALL SCONCE FIXTURE, MAINTAIN ASSOCIATED WIRING AND BRANCH CIRCUIT.
- 7. MAINTAIN EXISTING EXHAUST FAN.
- 8. MAINTAIN EXISTING HEATER.
- 9. MAINTAIN EXISTING BRANCH CIRCUIT AND REPLACE EXISTING RECEPTACLE WITH NEW.
- 10. REMOVE EXISTING EMERGENCY LIGHT AND ASSOCIATED WIRING.
- 11. REMOVE EXISTING 2'X4' FLAT PANEL, MAINTAIN EXISTING WIRING AND BRANCH CIRCUIT.
- 12. REMOVE EXISTING 2'X2' FLAT PANEL, MAINTAIN ASSOCIATED WIRING AND BRANCH CIRCUIT.
- 13. REMOVE EXISTING DOWNLIGHT, MAINTAIN WIRING AND BRANCH CIRCUIT.
- 14. MAINTAIN EXISTING HANDICAP PUSH BUTTON.
- 15. REMOVE EXISTING FLUSH MOUNT FIXTURE, MAINTAIN ASSOCIATED WIRING AND BRANCH CIRCUIT.
- 16. REMOVE EXISTING LIGHTING SWITCH AND ANY ASSOCIATED WIRING AND CONDUITS.

REV. NO.	DESCRIPTION	DATE	BY
	FOP PERMIT / BID	01/13/2025	JDN

33851 Curtis Blvd., 216
Eastlake, Ohio 44095
T 440.953.8760
F 440.953.1289
www.tecinc.com

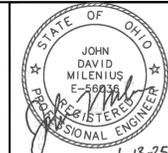


**LAKE METROPARKS PINE RIDGE
COUNTRY CLUB
RESTROOMS RENOVATIONS**
30601 RIDGE RD,
WICKLIFFE, OH 44092

**RESTROOMS ELECTRICAL
DEMOLITION PLANS**

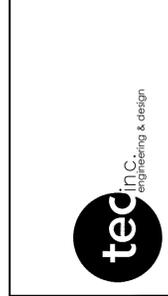
DATE: 12/01/2024
DESIGNED: MG
APPROVED: TGP
TEC PROJECT: 24232
SHEET NO.

ED-1



BY	JDM
DATE	01/13/2025
DESCRIPTION	FOP PERMIT / BID
REV. NO.	

33851 Curtis Blvd., 216
 Eastlake, Ohio 44095
 T 440.953.8760
 F 440.953.1289
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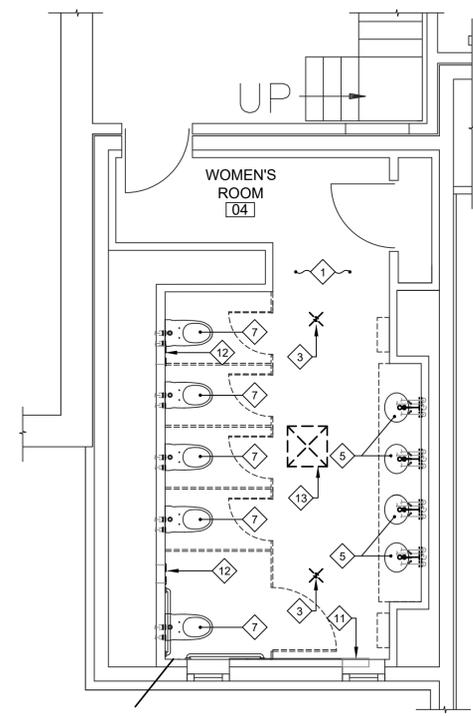
**LAKE METROPARKS PINE RIDGE
 COUNTRY CLUB
 RESTROOMS RENOVATIONS**

30601 RIDGE RD,
 WICKLIFFE, OH 44092

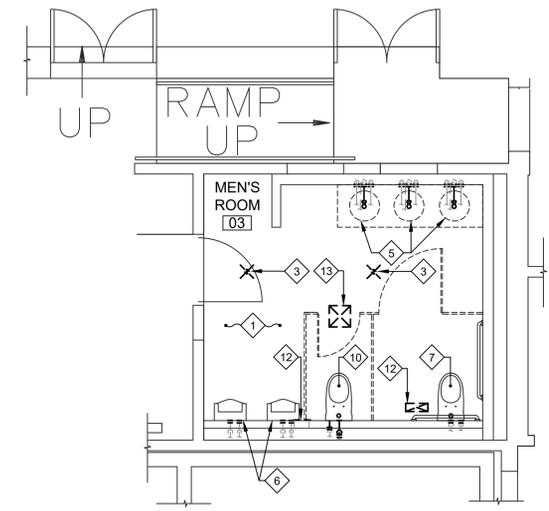
**RESTROOMS MECHANICAL
 DEMOLITION PLANS**

DATE:	12/01/2024
DESIGNED:	JJ
APPROVED:	JDM
TEC PROJECT:	24232
SHEET NO.	

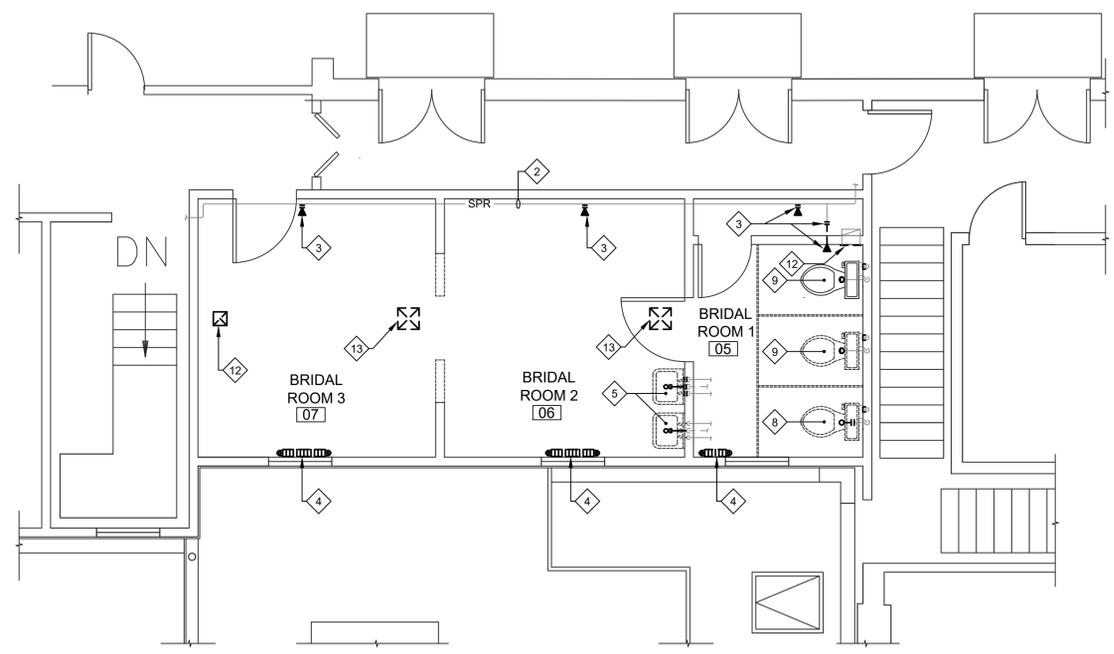
PD-1



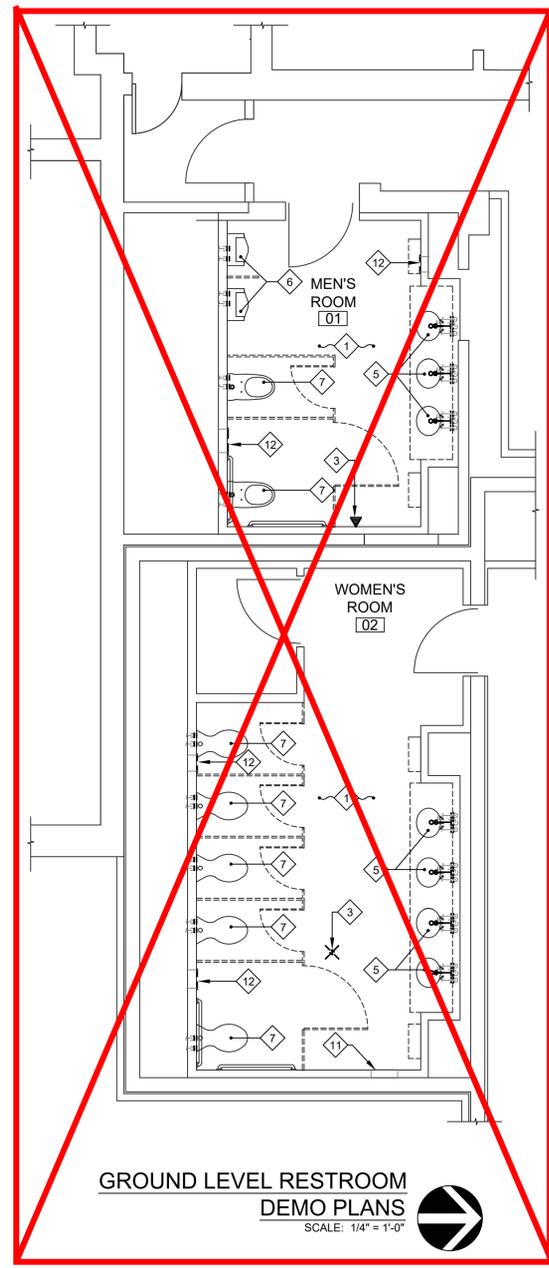
**FIRST LEVEL WOMEN RESTROOM
 DEMO PLAN**
 SCALE: 1/4" = 1'-0"



**FIRST LEVEL MEN RESTROOM
 DEMO PLAN**
 SCALE: 1/4" = 1'-0"



**SECOND LEVEL WOMEN RESTROOM
 DEMO PLAN**
 SCALE: 1/4" = 1'-0"



**GROUND LEVEL RESTROOM
 DEMO PLANS**
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONDUCT FIELD SURVEY OF EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID AND START OF WORK. NO ADDITIONAL PAYMENTS WILL BE MADE ON CLAIMS THAT ARISE FROM LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
- THE LOCATION OF EXISTING SANITARY SEWER, VENT, COLD WATER, HOT WATER, AND SPRINKLER PIPING AS SHOWN ON THE DRAWINGS ARE THE ENGINEER'S ESTIMATE OF LOCATIONS. ACTUAL FIELD CONDITIONS TO BE VERIFIED OR ACCOUNTED FOR IN BIDDING THE PROJECT. THE CONTRACTOR SHALL INCLUDE IN PRICING, NECESSARY PIPES AND FIELD ROUTING TO AVOID EXISTING EQUIPMENT FOR A COMPLETE PLUMBING SYSTEM. TO DETERMINE THE CONDITION OF EXISTING UNDERGROUND SANITARY SEWER ROUTING, PROVIDE A CAMERA SURVEY AND REPORT DISCREPANCIES FROM WHAT IS SHOWN ON THE DRAWINGS TO THE ENGINEER.
- SCHEDULE UTILITY SERVICE SHUTDOWNS REQUIRED FOR NEW CONSTRUCTION WITH OWNER AND GENERAL TRADES PRIOR TO SHUTTING DOWN SYSTEMS. GIVE ONE WEEK ADVANCE NOTICE.
- CUT FLOOR, WALL, AND CEILING CONSTRUCTION FOR PENETRATIONS TO ACCOMMODATE NEW WORK. COORDINATE WITH GENERAL TRADES. PATCH CONSTRUCTION TO MATCH, OR TO SATISFACTION OF ARCHITECT AND OWNER.
- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND AUTHORITY HAVING JURISDICTION.
- PLUMBING WORK SHALL BE COMPLETED BY AN INDIVIDUAL OR BUSINESS THAT IS LICENSED BY THE STATE CONSTRUCTION INDUSTRY LICENSING BOARD.
- ALL FIXTURES SHALL BE PROVIDED WITH SHUT-OFF BALL VALVES ON SUPPLY LINES.
- ALL PUBLIC HAND WASHING SINKS SHALL BE SUPPLIED WITH TEMPERED WATER WITH AN APPROVED WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070.

PLAN NOTES

- EXISTING FLOOR DRAIN/S TO REMAIN.
- EXISTING SPRINKLER PIPING TO REMAIN.
- DISCONNECT AND REMOVE EXISTING SPRINKLER HEAD AND PREPARE PIPE END FOR NEW CONNECTION.
- DISCONNECT AND REMOVE EXISTING RADIATOR. CAP PIPING FLUSH WITH FLOOR.
- DISCONNECT AND REMOVE EXISTING LAVATORY, FAUCET, AND FIXTURE DRAIN PIPING AND PREPARE PIPE ENDS FOR CONNECTION OF NEW LAVATORIES.
- VERIFY PROPER OPERATION OF EXISTING URINAL. DISCONNECT AND TEMPORALLY REMOVE EXISTING URINAL AND FLUSH VALVE AND STORE. PREPARE PIPE ENDS FOR NEW CONNECTION. COORDINATE STORAGE LOCATION WITH OWNER.
- VERIFY PROPER OPERATION OF EXISTING WATER CLOSET. DISCONNECT AND TEMPORALLY REMOVE EXISTING WATER CLOSET AND FLUSH VALVE AND STORE. PREPARE PIPE ENDS FOR NEW CONNECTION. COORDINATE STORAGE LOCATION WITH OWNER.
- DISCONNECT AND REMOVE EXISTING FLOOR MOUNTED WATER CLOSET AND PREPARE PIPE ENDS FOR RECONNECTION.
- DISCONNECT AND REMOVE EXISTING WATER CLOSET. CAP COLD WATER CONNECTION WITHIN WALL AND CAP WASTE OUTLET FLUSH WITH FLOOR.
- DISCONNECT AND REMOVE EXISTING WALL HUNG WATER CLOSET, FLUSH VALVE, AND CARRIER. PREPARE PIPING WITHIN CHASE TO SERVE NEW URINAL.
- EXISTING HEATER TO REMAIN.
- REMOVE EXISTING GRILLE.
- DISCONNECT AND REMOVE EXISTING DIFFUSER.

PLUMBING SYMBOLS

	CHECK VALVE
	CLEANOUT (HORIZONTAL)
	PIPE ELBOW, DOWN
	PIPE ELBOW, UP
	PIPE TEE, DOWN
	PIPE TEE, UP
	SHUTOFF VALVE
	UNION
	SANITARY WASTE PIPING (BELOW FLOOR)
	VENT PIPING
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	PIPING, FIXTURE AND /OR EQUIPMENT TO BE REMOVED
	CONNECT TO EXISTING

PLUMBING PERMIT

Lake County Building Department

105 MAIN ST, SECOND FLOOR, PAINESVILLE, OHIO 44077

TEL: 440-350-2636 - 440-918-2636 - 800-899-LAKE Ext. 2636

Permit Number: 2025003362



Job Location: 30601 RIDGE RD
WICKLIFFE, OH 44092

Parcel: 29-B-005-A-00-001-0

Job Description: 098-25P INTERIOR ALTERATIONS -
RESTROOMS

Applicant:

LAPLANTE FINISHES LLC
37539 OCEAN REEF
WILLOUGHBY, OH 44094
440-343-4684
TMJLAPLANTE@GMAIL.COM

Owner:

LAKE METROPARKS BOARD OF PARK
COMMISSIONERS
11211 SPEAR RD
PAINESVILLE, OH 44077

Contractors:

Name	Address	Phone	Email
LAPLANTE FINISHES LLC	37539 OCEAN REEF	440-343-4684	TMJLAPLANTE@GMAIL.COM

INSPECTIONS ARE MANDATORY

Our cut off time for inspections is 3:00 pm the day before the inspection is needed; however, there may be times when our schedule fills up quickly and more notice may be needed. We do not conduct same day inspections. We cannot take inspection requests via voicemail or e-mail.

A list of these inspections can be obtained from the Lake County Building Department Office or at the following website <http://www.lakecountyohio.gov>

Go to the Lake County Ohio Building Dept website at www.lakecountyohio.gov/buildinginspection and select the link to view the information in your permit file. You can view information such as inspection times and inspection results. Simply click on the SEARCH BY dropdown, make your selection, enter the information and click on search.

FINAL INSPECTION MUST BE MADE BEFORE BUILDING CAN BE OCCUPIED

440-350-2636

440-918-2636

PLEASE POST IMMEDIATELY

7 DAVE STRICHKO

08/08/2025

Date



COUNTY OF LAKE

PAINESVILLE
440-350-2636

CLEVELAND
440-918-2636

TOLL FREE
800-899-5253

FAX
440-350-2660

DEPARTMENT OF LAKE COUNTY BUILDING INSPECTION

APPROVED

Date 07/18/2025

LAKE COUNTY
BUILDING INSPECTOR /
PLUMBING PLANS
EXAMINER

Certificate of Plan Approval

July 18, 2025

Plan Approval: #098-25P
30601 Ridge Rd.
Wickliffe, Ohio

Approved Construction Documents



Lake County Building Department

Approved plans are not
valid if not accompanied
by Certificate of Plan
Approval.

Construction documents submitted to install plumbing service equipment were reviewed for compliance with applicable provisions of the 2024 Ohio Building Code and 2024 Ohio Plumbing Code.

Construction documents have been determined to be-In-Compliance with applicable code requirements.

Construction documents conditionally approved subject to compliance with the following conditions.

Note: this review is for plumbing service and plumbing systems only.

The following data is intended to provide the applicant with useful information that is associated with the project

1. **OBC106.3 Amended Construction Documents.** If substantive changes to the building are contemplated after first document submission, or during construction, those changes must be submitted to the building official for review and approval prior to those changes being executed. The building official may waive this requirement in the instance of an emergency repair, or similar instance.
2. **OBC 107.7 Approved construction document sets.** One set of approved construction documents shall be kept by the building official. The other set(s) shall be returned to the applicant, **kept at the work site**, along with manufacturers' installation instructions and product information, and shall be available for use by the inspectors.
 - a. **Note:** Plans may be kept electronically; it is the owner and or owner's representative's responsibility to provide a platform for viewing the approved construction documents in the field during all inspections.
3. **OPC 101.2 Scope** The provisions of this code shall apply to the design, installation, maintenance, alteration, repair, relocation, replacement, addition to, use and inspection of plumbing systems within buildings. This code shall also apply to those other systems, system components, equipment and appliances specifically addressed herein.

4. **OPC 301.1** The provisions of this chapter shall govern the general regulations regarding the design and installation of plumbing not specific to other chapters.
5. **OPC 301.7** In instances where conflicts occur between this code and the manufacturer's installation instructions, the more restrictive provisions shall apply.
6. **OPC 303.1** Each length of pipe and each pipe fitting, trap, fixture, material and device utilized in a plumbing system shall bear the identification of the manufacturer and any markings required by the applicable referenced standards.
7. **OPC 305.4 Freezing.** Water, soil and waste pipes shall not be installed outside of a building, in attics or crawl spaces, concealed in outside walls, or in any other place subjected to freezing temperatures unless adequate provision is made to protect such pipes from freezing by insulation or heat or both. Exterior water supply system piping shall be installed not less than 6 inches (152 mm) below the frost line and not less than 12 inches (305 mm) below grade.
8. **OPC 306.3 Backfilling** Backfill shall be free from discarded construction material and debris. Loose earth free from rocks, broken concrete and frozen chunks shall be placed in the trench in 6-inch (152 mm) layers and tamped in place until the crown of the pipe is covered by 12 inches (305 mm) of tamped earth. The backfill under and beside the pipe shall be compacted for pipe support. Backfill shall be brought up evenly on both sides of the pipe so that the pipe remains aligned. In instances where the manufacturer's instructions for materials are more restrictive than those prescribed by the code, the material shall be installed in accordance with the more restrictive requirement.
9. **OPC 307.3** Penetrations of floor/ceiling assemblies and assemblies required to have a fire-resistance rating shall be protected in accordance with the building code.
10. **OPC 312.1** The owner or owner's representative shall cause the applicable tests and inspections prescribed in Sections 312.2 through 312.11 to be performed to determine that the work will withstand the prescribed test without leakage and to demonstrate the integrity of the device or assembly. In accordance with OBC Section 108.8, reasonable advanced notice shall be given to the building official when the plumbing work is ready for tests. The building official may require that the tests be conducted in the presence of the building official or certified plumbing inspector. The owner or owner's representative shall keep records of the tests and inspections and shall submit such records to the building official upon request.
11. **OPC 312.4.2** Drainage and Vent Final Test. Water may be added to a water closet bowl or trap tailpiece extension until the water level is at least one inch higher than the original trap seal.
Final Plumbing Test / Inspection
Per 2024 OPC section 312.4 & 312.4.2
For Non-Residential / Commercial plumbing installations a final water column test is required if any of the following conditions exist
 1. New installation more than 5000 sq feet in combined floor area
 2. More than one story of construction
 3. More than two plumbing areas (bathroom groups, kitchen, laundry room etc.)**Exception:** Installation(s) that are connecting to existing waste and vent systems that the new installation is not able to be isolated for testing will not be required to have a final water column test.
12. **OPC 312.10** Inspection and Testing of Isolation Backflow Prevention Devices Required by This Code.

13. **OPC 315.1** The annular space between the outside of a pipe and the inside of a pipe sleeve or between the outside of a pipe and an opening in a building envelope wall, floor, or ceiling assembly penetrated by a pipe shall be sealed in an approved manner with caulking material, foam sealant or closed with a gasketing system. The caulking material, foam sealant or gasketing system shall be designed for the conditions at the penetration location and shall be compatible with the pipe, sleeve and building materials in contact with the sealing materials. Annular spaces created by pipes penetrating fire-resistance-rated assemblies or membranes of such assemblies shall be sealed or closed in accordance with Section 714 of the building code.
14. **OPC 405.1** Water supply protection. The supply lines and fittings for every plumbing fixture **shall be installed so as to prevent backflow.**
15. **OPC 412.3** Individual Shower Valves. Individual shower and tub/shower combination valves shall be balanced-pressure, thermostatic or combination balanced-pressure/thermostatic valves that conform to the requirements of ASSE 1016/ ASME A112.1016/CSA B125.16 or ASME A112.18.1/CSA B125.1 and shall be installed at the point of use. Shower and tub-shower combination valves required by this section shall be equipped with a means to limit the maximum setting of the valve to 120°F (49°C), which shall be field adjusted in accordance with the manufacturer's instructions. In-line thermostatic valves shall not be utilized for compliance with this section.
16. **OPC 423.3** Footbaths and pedicure baths. The water supplied to specialty plumbing fixtures, such as pedicure chairs having an integral foot bathtub and footbaths, shall be limited to not greater than 120°F (49°C) by a water-temperature-limiting device that conforms to ASSE 1070/ASME A112.1070/CSA B125.70 or by a water heater complying with ASSE 1082.
17. **OPC 501.6** Water Temperature Control in Piping from Tankless Heaters. The temperature of water from tankless water heaters shall be not greater than 140°F (60°C) where intended for domestic uses. This provision shall not supersede the requirement for protective shower valves in accordance with Section 424.3.
18. **OPC 604.9** Water Hammer. The flow velocity of the water distribution system shall be controlled to reduce the possibility of water hammer. A water-hammer arrestor shall be installed where quick-closing valves are utilized. Water-hammer arrestors shall be installed in accordance with the manufacturer's instructions. Water-hammer arrestors shall conform to **ASSE 1010.**
19. **OPC 607.1.1** **Temperature Limiting Means.** A thermostat control for a water heater shall not serve as the temperature limiting means for the purposes of complying with the requirements of this code for maximum allowable hot or tempered water delivery temperature at fixtures.
20. **OPC 607.1.2** Tempered Water Temperature Control. Tempered water shall be supplied through a water temperature limiting device that conforms to ASSE 1070 standards and shall limit the tempered water to a maximum of 110°F (43°C). This provision shall not supersede the requirement for protective shower valves in accordance with Section 424.3. **The ASSE 1070 must be installed at the point of use.**
21. **OPC 608.1** General. A potable water supply system within a building is to be designed, installed and maintained in such a manner so as to prevent contamination from non-potable liquids, solids or gases being introduced into the building potable water supply through cross connections or any other piping connections to the system. Isolation backflow prevention device applications shall conform to Table 608.1, except as specifically stated in Sections 608.2 through 608.17.10.

22. **OPC 608.7** Cross connection control. Cross connections shall be prohibited, except where approved backflow prevention assemblies, backflow prevention devices or other means or methods are installed to protect the potable water supply. Mop Sink with a hose connection & any sinks with chemical attached to the water supply system.
23. **OPC 704.3** Connections to Offsets and Bases of Stacks. Horizontal branches shall connect to the bases of stacks at a point located not less than 10 times the diameter of the drainage stack downstream from the stack. Horizontal branches shall connect to horizontal stack offsets at a point located not less than 10 times the diameter of the drainage stack downstream from the upper stack.
24. **OPC 706.3** Installation of Fittings shall be installed to guide sewage and waste in the direction of flow. Change in direction shall be made by fittings installed in accordance with Table 706.3. Change in direction by combination fittings, side inlets or increasers shall be installed in accordance with Table 706.3 based on the pattern of flow created by the fitting. Double sanitary tee patterns shall not receive the discharge of back-to-back water closets and fixtures or appliances with pumping action discharge.
25. **OPC 802.1.7** Commercial Dishwashing Machines The discharge from a commercial dishwashing machine shall be through an air gap or air break into a waste receptor in accordance with Section 802.2.
26. **OPC 905.4** Every dry vent shall rise vertically to a point not less than 6 inches (152 mm) above the flood level rim of the highest trap or trapped fixture being vented.
27. **OPC 905.5** A connection between a vent pipe and a vent stack or stack vent shall be made at not less than 6 inches (152 mm) above the flood level rim of the highest fixture served by the vent. Horizontal vent pipes forming branch vents, relief vents or loop vents shall be located not less than 6 inches (152 mm) above the flood level rim of the highest fixture served.

Note: A full version of the Ohio Building Code can be found at <http://www.com.ohio.gov/dico/bbs/>

Pursuant to Ohio Revised Code Chapter 3781 and 3791 owner/owner agents are responsible for compliance with the rules of the Ohio Board of Building Standards.

Plumbing plans reviewed by,

Robert Brown

Robert Brown
Plumbing Plans Examiner

Sincerely,

David V. Strichko

David V. Strichko, CBO
Lake County Building Official

Acknowledgement of receipt of Certificate of Plan Approval.	
OWNER'S REPRESENTATIVE:	
Signature:	<i>Thomas LaPlante</i>
Printed Name:	Thomas LaPlante
Date:	7/29/2025



Job Address: _____

INSPECTION REQUIREMENTS

- JOB SITE ADDRESS** that is visible from the street and posted during entire construction project.
- JOB PLACARD POSTED IN PLAIN SIGHT**
- APPROVED JOB COPY. CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON ALL JOBS FOR ALL INSPECTIONS.** If approved construction documents are not on the job site, a re-inspection must be scheduled – **PLEASE NOTE A RE-INSPECTION FEE WILL BE ASSESSED.**
- RE-INSPECTION FEES** – A re-inspection fee will be charged when the inspector must return to the job site that was not ready, building was locked and inspector could not gain access, approved construction documents not on site, and / or had failed a previous inspection. Fee must be paid prior to scheduling final inspection, or if two (2) fees are assessed on a project, fees are due before the next inspection is scheduled.
- SCHEDULING INSPECTIONS** – Minimum of Twenty-four (24) hour notice is required for **all inspections**. Inspection requests must be received by 3:00 p.m. for inspection the next day. You can call the day of your inspection, between 8:15 a.m. – 9:00 a.m. for an approximate inspection time.
- FOOTING / PADS / PILING / POST HOLE INSPECTIONS:**
 - * Upon completion of footing forms, reinforcement, etc. and **BEFORE PLACING CONCRETE** schedule a pre-pour inspection.
 - * A minimum of a **ONE HOUR** window is required when scheduling for inspection.
- FOUNDATION INSPECTION:**
 - * Upon completion of water proofing and drain proofing, drain tile with stone in place, and prior to backfilling.
- UNDERGROUND PLUMBING, SANITARY INSPECTION:**
 - * After complete installation of all underground plumbing & sanitary systems components. **Note: Exposure of pipe sleeve and entire building drain and branches must be visible inside and outside of the exterior wall and have full continuous support upon a bed of clean fill (i.e. stone, gravel or sand). The entire underground system must be under test with either an air pressure test (if permitted by the manufacture of the piping) with 5 psi of air for 15 min., 10' head of water if water tested or vacuum test with a -2 vac for 15 min.**
- UNDERGROUND ELECTRIC, MECHANICAL, GAS PIPING, Etc. INSPECTION:**
 - * After complete underground installations of all electrical conduit, ductwork, hydronic piping, fuel gas piping. **Note: for electrical conduit and gas piping installations it is only necessary to leave three feet of each end of the trench open for inspection; on connections over 100 feet in length the middle portion of the trench will also need to be left open for inspection.**

UNDER SLAB UTILITIES INSPECTION:

- * After all service equipment, conduit, piping accessories and other ancillary equipment items are in place, but **BEFORE PLACING ANY CONCRETE OR INSTALLING ANY FLOOR SHEATHING, INCLUDING THE SUB FLOOR** schedule a pre-pour and / or pre-sheathing inspection.
- * A minimum of a **ONE HOUR** window is required when scheduling for inspection.

CONCRETE SLAB:

- * Upon completion of insulation, vapor barriers, mesh, re-enforcement, isolation joint, etc. but **BEFORE INSTALLING CONCRETE** schedule a pre-pour inspection

ROUGH-IN INSPECTIONS:

- * **All additional permits must be on file (electrical, mechanical, plumbing, gas piping, etc.)**
Rough-in inspection compliance approval for framing / structure, electrical, mechanical, plumbing, gas piping, pre-fabricated fireplaces and any other essential components relevant to the overall construction in any area, is required before concealment.

In addition to the approved construction documents, the following items listed below must be on site for the framing inspection:

- Roof truss design drawings (depiction of each individual truss), and the truss layout drawing.
- Manufacturer instructions for:
 - Factory made fireplaces (prefab)
 - Corrugated stainless steel tubing (CSST)
 - (Manufacturer's instructions for other equipment or appliances as required)
- **ELECTRICAL:** Complete electrical rough-in with all splicing in boxes ready to receive devices.
- **MECHANICAL:** Complete mechanical installations including all ductwork, fuel gas piping equipment and electrical connections. Heat pipes in concrete slab to be inspected prior to pouring concrete.
- **PLUMBING:** Complete plumbing installations including all waste, vent, drain, water distribution.
Note - The entire waste/vent/drain system must be under test with either an air pressure test (if permitted by the manufacture of the piping) with 5 psi of air for 15 min., 10' head of water if water tested or vacuum test with a -2 vac for 15 min.

MASONRY FIREPLACE INSPECTION:

- * To be inspected at the top of smoke chamber when first flue tile is set and smoke chamber parged.

ENERGY EFFICIENCY – INSULATION INSPECTION:

- * After all rough inspections and any other work that may be concealed have been inspected for compliance.
- * Insulation is completely installed but prior to placement of any drywall or other covering.
- * Inspections shall include, but not limited to, inspections for envelope insulation R and U value, fenestration U value, duct system R value, and HVAC and water heating equipment efficiency.

FIRE RESISTANCE RATED CONSTRUCTION INSPECTIONS:

- * Protection of joints and penetrations in fire-resistance-rated assemblies shall not be concealed from view until inspected for compliance.
- * After all wallboard is installed and before wallboard joints and fasteners are taped and finished.

ELECTRICAL SERVICE INSPECTION: (Temporary or Permanent. Please provide work order number)

- * **Temporary Power Pole** – prior to utility company hook up.
- * **Permanent Electrical Service** – When main panel is installed and grounding is complete with cover off prior to utility company hook up.
- * **Service Underground** – When wire / feeder, direct burial warning ribbon and conduit (if required) has been installed. **Note: it is only necessary to leave three feet of each end of the trench open for inspection; on runs over 100 feet in length the middle portion of the trench will also need to be left open for inspection.**
- * **Approval** is emailed the next business day to the utility company. The electrical contractor/owner is responsible for scheduling hook up with the appropriate utility company

DEMOLITION INSPECTION:

- * **Final inspection** – A final inspection is required after all demolition debris, driveway (if applicable) and any other materials from the structure have been removed and all areas disturbed by the demolition are reseeded and prepared for new grass growth.

FINAL INSPECTION:

- * A final inspection and approval is required upon completion and approval of all phases of any construction **prior to occupancy**. Note: On the final inspection, the covers of all electrical panels must be removed.
- * **Final Plumbing** – Drainage and Vent Final Test. Water may be added to a water closet bowl or trap tailpiece extension until the water level is at least one inch higher than the original trap seal. Per 2024 OPC section 312.4 & 312.4.2:
 - For Non Residential / Commercial plumbing installations a final water column test is required if any of the following conditions exist
 - 1. New installation more than 5000 sq feet in combined floor area
 - 2. More than one story of construction
 - 3. More than two plumbing areas (bathroom groups, kitchen, laundry room etc.)**Exception:** Installation(s) that are connecting to existing waste and vent systems that the new installation is not able to be isolated for testing will not be required to have a final water column test.
- * **Fuel Piping** – All fuel piping installations must have a fuel piping pressure acceptance test certificate submitted to and approved by the Lake County Building Department. See required Acceptance Test Information.
- * **Energy Efficiency** - All required energy efficiency verification and test reports (visual inspection, duct leakage test, blower door test, etc.) must be submitted and approved by the Lake County Building Department.
- * **Final Grading** – Contact your local jurisdiction’s engineer to request a final grading inspection/approval. If in a township, contact the Lake County Engineer’s office (440-350-2770); otherwise contact your local city or village engineer.
- * **Special Inspections** – All Special Inspection Reports (OB Section 1704) must be submitted and approved to the Lake County Building Department before a final inspection can be scheduled.

REQUIRED ACCEPTANCE TESTS:

- Fuel Piping Installations** – Prior to acceptance and initial operation, fuel piping shall be inspected and pressure tested to determine that the materials, design, fabrication and installation practices comply with the requirements of this code.

- All fuel piping Installations must have a **Fuel Piping Pressure Acceptance Test Certificate** submitted to and approved by the Lake County Building Department. (OBC 109.9, RCO 108.2.9)

- For residential projects: **Building Envelope Tightness Test Verification Form** (Blower Door) and the **Duct Tightness Test Verification Form** when required.

- Automatic Sprinkler System**- After scheduling tests with the local fire department notify the Lake County Building Department of the date and time of the test and provide Sprinkler Acceptance Test Certificate as required by OBC 901.5 and NFPA 13.

- Fire Alarm Systems** – Upon completion of the installation of the alarm notification appliances and circuits, alarm-initiating devices and circuits, supervisory-signal initiating devices and circuits, signaling line circuits, and primary and secondary power supplies shall be tested in accordance with NFPA 72.

- After scheduling tests with the local fire department, notify the Lake County Building Department of the date and time of the test.

- Provide Acceptance Test Certificate as required by OBC 901.5

- Automatic Fire-Extinguishing System** – including commercial hood and duct systems, commercial cooking systems, foam systems, Halon systems, clean agent systems, carbon dioxide

CONFIRMATION OF APPROVALS REQUIRED TO ISSUE A CERTIFICATE OF OCCUPANCY

- **Final inspection** by Lake County Building Department
- **Final Grade/Drainage Inspection Form** from the Lake County Engineers' office or the jurisdiction city/village engineer final grade/drainage inspection form.

ADDITIONAL, PARTIAL, AFTER/BEFORE HOURS OR WEEKEND INSPECTIONS

(Based on inspector availability)

In the event an additional, partial, after hour or weekend inspection is needed to keep the project moving it can be provided for an additional fee. See fee sheet or call for more information.

Such Inspections would be:

- Additional or partial inspection during regular business hours.
 - Example – partial footer & partial rough inspections.
- Additional, partial, after / before hour weekday inspection. (7:00 am – 8:00 am, 4:30 pm – 5:30 pm)
- Additional, partial weekend and before 7:00 am or after 5:30 inspection.
- Fees to be paid for prior to inspections

CERTIFICATE OF OCCUPANCY COPIES

Contact the Lake County Building Department to request a certificate of occupancy.

ISD

Approved Construction Documents



Lake County Building Department

APPROVED

Date 07/18/2025

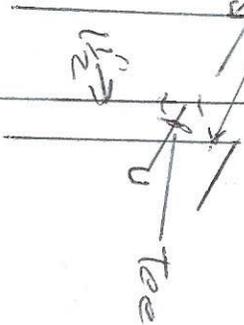
Robert Brown

LAKE COUNTY
BUILDING INSPECTOR /
PLUMBING PLANS
EXAMINER

Approved plans are not
valid if not accompanied
by Certificate of Plan
Approval.

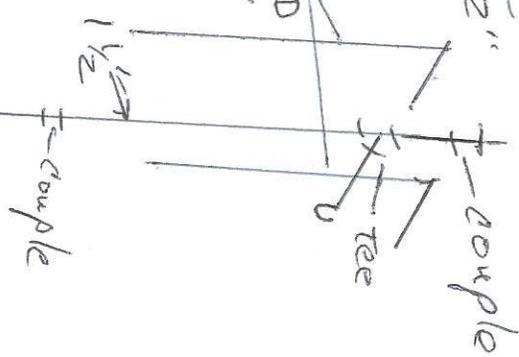
Existing WASTE →

Existing
1/2" HOT + COLD
Supply



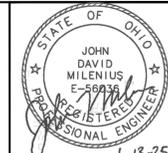
Raised new
1/2"

HOT + COLD
Supply



Re-work 7 days

Lake Metroparks Pine Ridge Ct.
38601 Ridge Rd.
Wickliffe, OH 44092

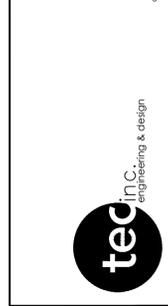


13-25

BY	JDM
DATE	01/19/2025

DESCRIPTION	FOP PERMIT / BID
REV. NO.	

33851 Curtis Blvd., 216
 Eastlake, Ohio 44095
 T 440.953.8760
 F 440.953.1289
 www.teccinc.com

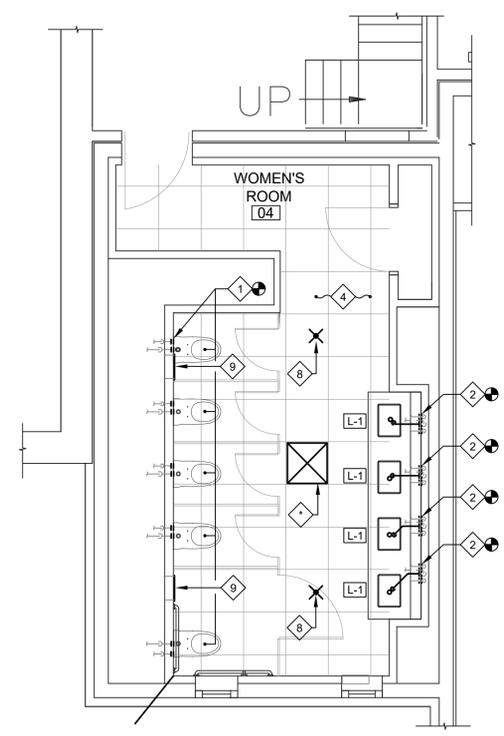


LAKE METROPARKS PINE RIDGE
 COUNTRY CLUB
 RESTROOMS RENOVATIONS
 30601 RIDGE RD,
 WICKLIFFE, OH 44092

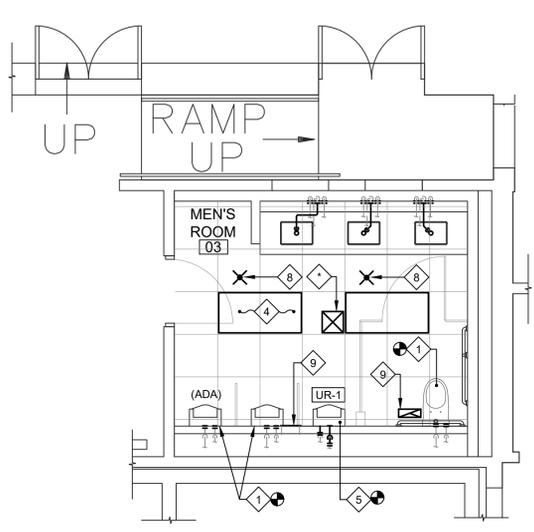
RESTROOMS PLUMBING
 PLANS

DATE:	12/01/2024
DESIGNED:	JJ
APPROVED:	JDM
TEC PROJECT:	24232
SHEET NO.	

P-1



FIRST LEVEL WOMEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

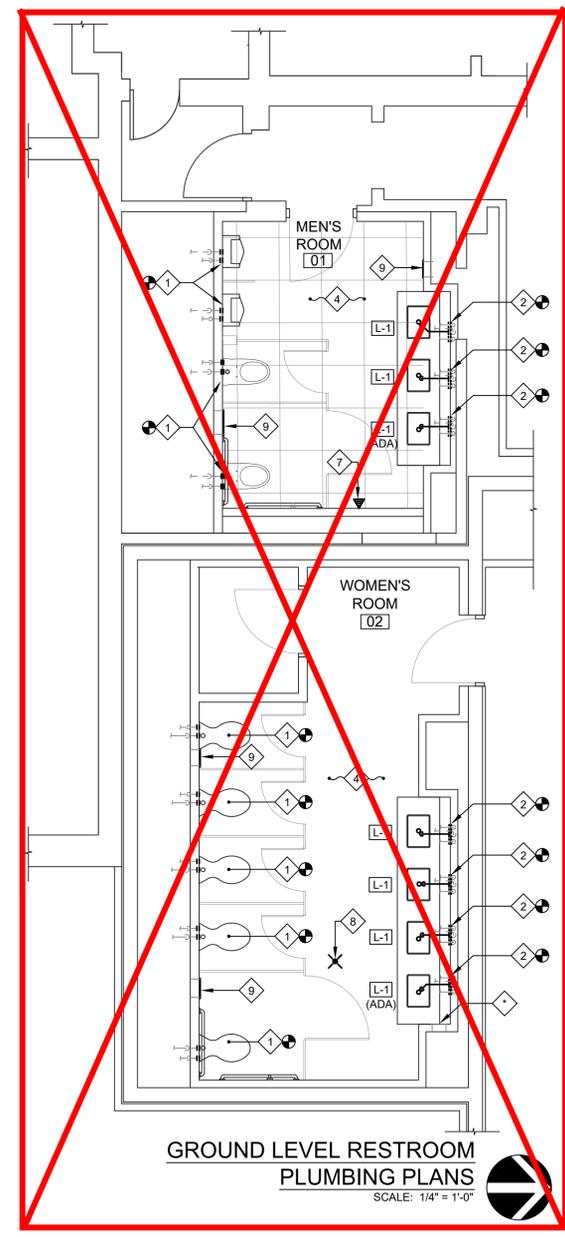


FIRST LEVEL MEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

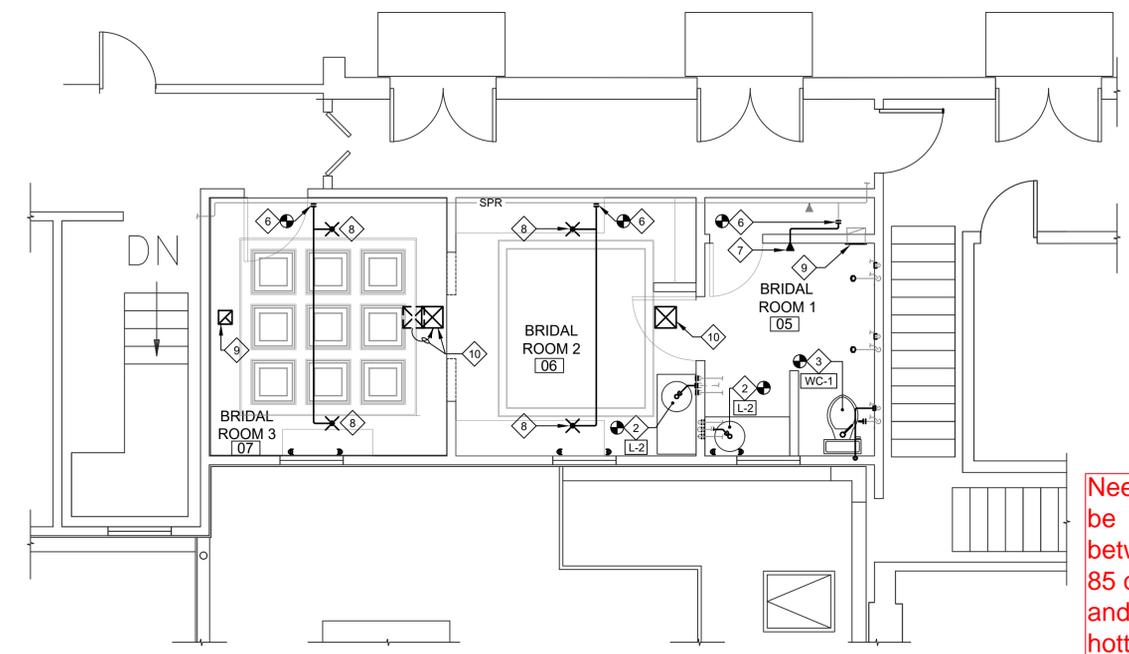


APPROVED
 Date 07/18/2025
 [Signature]
 LAKE COUNTY
 BUILDING INSPECTOR /
 PLUMBING PLANS
 EXAMINER

Approved plans are not
 valid if not accompanied
 by Certificate of Plan
 Approval.



GROUND LEVEL RESTROOM
 PLUMBING PLANS
 SCALE: 1/4" = 1'-0"



SECOND LEVEL WOMEN RESTROOM
 PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

Needs to
 be
 between
 85 degrees
 and No
 hotter than
 110
 degrees.

PLUMBING FIXTURE AND EQUIPMENT SCHEDULE

TAG	FIXTURE DESCRIPTION
WC-1 (ADA)	FIXTURE: FLOOR MOUNTED TANK TYPE, WHITE VITREOUS CHINA, ELONGATED BOWL, SIPHON JET ACTION, 1.6 GALLONS PER FLUSH, 16-1/2 INCH BOWL HEIGHT, AMERICAN STANDARD CADET 3 RIGHT HEIGHT 270AA.001 OR APPROVED EQUAL. SEAT: WHITE, HEAVY DUTY COMMERCIAL GRADE, OPEN FRONT, SELF-SUSTAINING CHECK HINGES WITH STAINLESS STEEL POSTS BY CHURCH MODEL 9500C OR APPROVED EQUAL. ROUGH-IN DIMENSION: 12 INCH SUPPLIES: PROVIDE CHROME PLATED RIGID SUPPLY WITH LOOSE KEY STOP, REDUCERS AND ESCUTCHEONS. PROVIDE FLUSH CONTROL LEVER ON WIDE SIDE OF TOILET (AWAY FROM WALL)
UR-1	FIXTURE: AMERICAN STANDARD 6590.001 "WASHBROOK", WALL HUNG, SIPHON-JET ACTION, WHITE VITREOUS CHINA, 3/4 INCH TOP SPUD AND WALL HANGER, 1.0 GPF FLUSH VALVE, ZURN EXPOSED URINAL 3/4 INCH TOP SPUD SENSOR OPERATED BATTERY POWERED FLUSHOMETER MODEL ZER6003AV-CPM, 1.0 GPF, HARDWIRED URINAL FLUSHOMETER. CARRIER: STEEL UPRIGHTS WITH SUPPORT PLATES, BEARING STUDS AND BLOCK FEET FOR ANCHORING TO FLOOR CONSTRUCTION. WADE W-400 OR SIMILAR BY ZURN OR SMITH.
L-1	FIXTURE: EDEN BATH MODEL NO. EB-GS67 RECTANGULAR TURQUOISE BLUE FOIL GLASS VESSEL SINK. FAUCET: VIGO AMADA SINGLE HANDLE, SINGLE-HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK FINISH. SUPPLIES: FURNISH CHROME PLATED RIGID OR FLEXIBLE SUPPLIES, REDUCERS, AND ESCUTCHEONS. INSULATED FOR ADA COMPLIANCE. DRAIN: VIGO BATHROOM SINK 1.5 INCH GRID DRAIN IN MATTE BLACK FINISH. TRAP: CHROME PLATED CAST BRASS ADJUSTABLE "P" TRAP WITH CLEANOUT AND 17 GAUGE WASTE TO WALL WITH ESCUTCHEON. INSULATED TO MEET ADA COMPLIANCE. PROVIDE PLUMBREX MODEL X4114 TRAP COVER AND MODEL X4333 PRO EXTREME TRAP WRAP OR EQUAL.
L-2	FIXTURE: EDEN BATH MODEL NO. EB-GS42 14 INCH ROUND FREEFORM WAVE GLASS VESSEL SINK. FAUCET: VIGO AMADA SINGLE HANDLE, SINGLE-HOLE BATHROOM VESSEL FAUCET IN MATTE BLACK FINISH. SUPPLIES: FURNISH CHROME PLATED RIGID OR FLEXIBLE SUPPLIES, REDUCERS, AND ESCUTCHEONS. INSULATED FOR ADA COMPLIANCE. DRAIN: VIGO BATHROOM SINK POP-UP DRAIN WITH OVERFLOW IN MATTE BLACK FINISH. TRAP: CHROME PLATED CAST BRASS ADJUSTABLE "P" TRAP WITH CLEANOUT AND 17 GAUGE WASTE TO WALL WITH ESCUTCHEON. INSULATED TO MEET ADA COMPLIANCE. PROVIDE PLUMBREX MODEL X4114 TRAP COVER AND MODEL X4333 PRO EXTREME TRAP WRAP OR EQUAL.
—	WATER HAMMER ARRESTORS PERMANENTLY SEALED BELLOWS OR EXPANDING CHAMBER TYPE DEVICE FOR CONTROL OF WATER HAMMER, P.D.I. APPROVED, SMITH HYDROTROL OR SIMILAR BY JOSAM, MIFAB, WADE, OR ZURN. SIZE PER PDI STANDARD - WH 201 TABLE 5
—	POINT OF USE THERMOSTATIC MIXING VALVE WATER TEMPERATURE REGULATING VALVE, LEAD FREE BRONZE BODY, THREADED CONNECTIONS, LOW TEMPERATURE, DUAL ACTION, INTERCHANGABLE THERMOSTAT, INTEGRAL FILTER WASHERS AND CHECK VALVES, ASSE 1070 LISTED, ADJUSTABLE FROM 80 DEGREES F TO 120 DEGREES F WITH LOCKING FEATURE. SET OUTLET TEMPERATURE AT 110 DEGREES F, MAXIMUM PRESSURE 150 PSI. WATTS SERIES LFUSG-B OR AS APPROVED.